



WASHINGTON COUNTY PLANNING OFFICE

2615 Brink Dr.
Fayetteville, AR 72701
(479) 444-1724
(479) 973-8417

Agenda Item

D

Meeting: May 3, 2018
Project: Old Wire Service & Recreational
Facilities CUP
Project Number: 2017-199
Planner: Sita Nanthavong
snanthavong@co.washington.ar.us

ZONING – CONDITIONAL USE PERMIT REQUEST

The determination as to whether a conditional use permit will be granted is subjective to a degree.
The Zoning Board of Adjustments may act on issues discussed in the criteria checklist when making decisions in these matters.

REQUEST: Old Wire Service and Recreational Facilities is requesting **Conditional Use Permit** approval to allow the building of service and recreational facilities buildings on a property that is approximately 19.42 acres in size and is currently zoned for Agricultural and Single Family Residential Uses.

CURRENT ZONING: Project lies within the County's Zoned area (Agriculture/Single-Family Residential 1 unit per acre)

PLANNING AREA: City of Fayetteville Planning Area

QUORUM COURT DISTRICT: District 15, Butch Pond

FIRE SERVICE AREA: Goshen VFD

SCHOOL DISTRICT: Fayetteville

INFRASTRUCTURE: Water- Fayetteville

Electric- Ozarks Electric

Natural Gas- Black Hills

Telephone- AT&T

Cable- Cox Communications

BACKGROUND/PROJECT SYNOPSIS:

The project was tabled at the Washington County Planning Board on January 11, 2018 by the Planning Board members. Please see page 6 through 18 from the included excerpt of the Minutes from the January 11, 2018 Planning Board meeting for more details.

The owner of this property is the Patrick J. Tobin Revocable Trust. The applicant is Pat Tobin with representation by Bates and Associates.

Old Wire Service and Recreational Facilities is requesting **Conditional Use Permit** approval and **Preliminary Large Scale Development** approval to allow the building and leasing of service and recreational facilities buildings on a property that is approximately 19.42 acres in size and is currently zoned for Agricultural and Single Family Residential Uses.

The parcel will accommodate ten (10) single story buildings to be built in phases. The first phase will consist of the construction of buildings numbered 3 through 8. Building 3 and 4 will be approximately 5,000 square feet, buildings 5 and 6 will be approximately 3,600 square feet, and buildings 7 and 8 will be approximately 2,500 square feet. The applicant is proposing to leave the uses open to accommodate prospective tenants and their businesses; however, the uses will be limited to the type of building being constructed so it complies with city and fire regulations.

Some of the proposed business are, but not limited to the following:

- Glass shop & showroom
- Antique print shop
- Baseball pitching & hitting
- General business offices
- Utility company offices
- Excavation business office
- General warehouse

The applicant states that the following types of businesses will not be considered:

- Sexually oriented businesses
- Adult book and novelty store
- Bar and/or Night club
- Circus'
- Chicken farms
- Salvage yards
- Heavy equipment businesses
- Gambling establishments such as casinos
- Illegal businesses (ex: counterfeit items, illegal drugs, pirated music stores, any business providing peripheral support of illegal activities)
- Concrete/Mining plant
- Dog/animal mills
- Firework manufacturing facility

A submitted letter from the applicant contains more detail. Please see attached.

TECHNICAL CONCERNS:

Water/Plumbing/Fire Issues:

This CUP request was reviewed by the City of Fayetteville and the County Fire Marshal.

Fayetteville Water services this area. Corey Granderson, Staff Engineer for the City of Fayetteville, commented that the revisions of the submitted project plans dated 11/02/2017 are acceptable in concept: a proposed looped waterline system connecting to the Rid-A-Pest property. After Washington County approval, the applicant must submit plans and utility permit application to the City of Fayetteville Engineering Division for Permit Review.

The Washington County Fire Marshal reviewed the resubmitted plans and found all except the following acceptable:

All fire lanes need to be labeled in appropriate places.

Some buildings show exit lights and some don't. All exit doors should have appropriate lighted signs.

Panic bars should be installed on the doors.

When a building has occupancy, the Fire Marshal must inspect each building prior to the tenant's opening.

Health Department Issues:

This project proposes to utilize one septic system for each building.

Soil analysis has been conducted and submitted to the Health Department for buildings 3 through 8. Based upon the soil analysis and the Loading Rates for Residences and Commercial Establishments table, only a maximum of 12 occupants may be present within each building per day; this includes employees and customers. This may change once permits are submitted to the Health Department.

It is incumbent of the owner to notify the Planning Department for re-evaluation of adequacy of the septic system, according to the septic code, of any changes in occupancy that exceed the Health Department's permitted septic loading of 12 occupants per day maximum including customers.

The Health Department would like to note that the layout of the lateral lines and fields may change once permits have been filed with the State.

Electric/Phone:

This project is serviced by Ozarks Electric, AT&T, Black Hills, and Cox Communications. Generally, any relocation of existing facilities will be at the developer's expense.

Ozarks Electric states that there must be a 30ft utility easement along overhead lines and 15ft utility easements along underground lines.

Roads/Sight Visibility/Ingress-Egress/Parking:

This project accesses off WC 87, North Old Wire Road.

The Road Department requires a minimum 30 foot ROW to be dedicated on the applicant's side of the road (if applicant owns both sides, both sides must be dedicated).

One entrance is proposed for the first phase. A second entrance will be added during the second phase of construction as per the fire code due to the length of the access drive.

Any work done in the County right-of-way will require a permit from the Washington County Road Department prior to construction.

Drainage:

A Drainage Report was submitted. The Washington County Contracted Engineer, Zach Moore, has reviewed this report and has no further comments.

If the proposed future drive connection is ever constructed, Mr. Moore would again review the drainage at the time.

Environmental Concerns:

No stormwater permit is required by Washington County at this time; however, applicant must comply with all rules and regulations of the Arkansas Department of Environmental Quality. www.adeq.state.ar.us

Signage/Lighting/Screening Concerns:

No signage is allowed within Washington County's road right-of-way (ROW). As this is a semirural area in transition, staff recommends the signage be approximately 24 sq. ft. in size and not directly lit. A sketch of the proposed sign must be submitted to Washington County Planning for

approval prior to the sign being placed. No additional signage is allowed, and if the applicant chooses to use lighting for the sign, it must be indirectly lit. There is no signage proposed with this project.

All outdoor lighting must be shielded from neighboring properties, and any lighting must be indirect and not cause disturbance to drivers or neighbors. Additionally all security lighting must be shielded appropriately (see attached diagram).

Each building will have its own dumpster. The plans indicate that each dumpster will be screened including the gate and the dumpster enclosure material must match the building material.

Addressing Concerns:

The applicant must apply for a 911 address to be assigned. 911 addresses must be shown on the Final Plat at Final LSD.

Sheriff's Office Concerns:

Washington County Sheriff's Office has no comments on this project.

COMPATIBILITY CONCERNS:

Surrounding Uses:

The surrounding uses are a mix of residential, agriculture, light commercial and community facilities. Within the vicinity is a storage unit complex, a laser tag facility, two plumbing shops, two existing churches, a cemetery, and residential and agricultural uses.

County's Land Use Plan (written document):

Staff does not know if the traffic and nature of this proposed project would be in use with the County's Light Commercial Land Use Plan.

According to the County's Land Use Plan:

2. LIGHT COMMERCIAL

Continuing with the primary goal of retaining the rural characteristics of Washington County, light commercial uses should be allowed if:

- a. Not incompatible with adjacent residential and agricultural uses; or by conditions placed on such to mitigate its impact. Together with community facilities and compatible residential uses, this use typically serves as a buffer between general commercial and strictly residential uses.

Future Land Use Plan

The Future Land Use Plan for this area shows that it is "Rural Area Residential". This portion of the County Future Land Use Plan was extrapolated from the City of Fayetteville's adopted Future Land Use Plan for this area.

The City of Fayetteville has submitted comments. The City of Fayetteville expressed concerns with compatibility the project would have with their existing land use plan. Also, they do not think the project, as proposed, would be compatible with surrounding land uses due to increased traffic, light, noise, storm water runoff, pollutants in the Mud Creek watershed, and adverse changes to the environmental character of the area.

Please see the attached letter from the City of Fayetteville for more details.

Site Visit:

A site visit was conducted by Planning Staff on 08/29/2017. Staff did notice anything of concern.

Neighbor Comments and Concerns:

All neighbors within 300 feet of the boundary of this property were notified by certified mail of this project proposal.

To date, there have been a total of ten comments submitted.

- Received 07/31/2017 – Neither in favor or opposed and states that the owner does not have a reputation for clean, well maintained properties, has concerns about the structure type.
- Received 08/01/2017 – Opposed contingent upon storm water. They are worried about additional storm water run-off.
- Received 08/01/2017 – Opposed and concerned about water run-off, what type of businesses will be present, and the physical appearance of the buildings.
- Received 08/02/2017 – In favor only if the storm water run-off is redirected directly to the creek and not able to access their property. They would like opaque fencing for commercial developments and the buildings to be constructed to match the surrounding businesses.
- Received 08/08/2017 – Opposed. They do not want rental or retail so close to their residential property. They would rather the property stay residential.
- Received 08/25/2017 – Opposed. No reason given.
- Received 08/28/2017 – Opposed. No reason given. Submitted by the same person who submitted comments on 08/25/2017.
- Received 11/28/2017 – Opposed. They are concerned about more commercial businesses in the area. The development will have a negative impact on the community aesthetics and impact property values.
- Received 01/05/2018 – Opposed. No reason given.
- Received 01/08/2018 – Opposed. The property is zoned agricultural/residential and is no place for commercial rental property. There are water and sewer issues.

Planning Staff will update the Board of any more comments.

STAFF RECOMMENDATION: Staff recommends *approval* of the project with the following conditions:

Water/Plumbing/Fire Conditions:

1. A looped connection must be provided per specifications.
2. The water system design will be subject to the City of Fayetteville's latest design criteria.
3. Each building must be within 250 feet of a hydrant per Arkansas State Fire Code.
4. The water line needs to be 8 inches.
5. Overhead electrical lines must be high enough to allow clearance for fire/emergency vehicles.
6. Project site entrance must have a 38 foot turning radius.
7. Gravel must be compacted to 75,000 pounds in all weather conditions and certified by an engineer.
8. A hammerhead turn around must be provided for fire/emergency vehicles.
9. The hammerhead turn around must be designated as a fire lane.

10. All fire lanes must be labeled and marked in paved areas. Fire lanes must have signs in graveled areas.
11. Buildings, restrooms, and parking must be ADA compliant.
12. A statement at Final LSD will be required stating all buildings are in compliance with Arkansas State Fire Code and ADA regulations.
13. A life/safety plan must be submitted and approved by the Fire Marshal once occupancy per building is known and building plans are available.

Health Department Conditions:

1. Soil work has been completed and a copy has been submitted for this project. Using the soil analysis and the loading rate, the Department of Health as deemed that occupancy can be no more than twelve people at a time within each building.
2. Full permit design has not been submitted to the Department of Health. Once occupancy is known, permits will be sent to the Department of Health.
3. The septic system must receive full approval from the Department of Health before installation can begin.
4. No parking (including overflow parking) is allowed on any portion of septic systems including the alternate areas.
5. Physical barriers must be placed around the entire septic areas to prevent damage from vehicles or other disturbance. The barriers must be placed such that driving between them is not possible.
6. Project must be in compliance with the regulations of the Arkansas Department of Health.

Roads/Sight Visibility/Ingress-Egress/Parking Conditions:

1. Site distance is adequate.
2. One entrance is proposed for the first phase. A second entrance will be added at the second phase of construction.
3. No signage or parking is allowed within Washington County's road right-of-way (ROW), and none is shown on the submitted plans.
4. The Road Department requires a minimum 30' ROW to be dedicated on the applicant's side of the road (if applicant owns both sides, both sides must be dedicated).
5. Generally, any work (i.e. clearing, grading, driveway install) to be completed in the County Road Right-of-Way requires a permit from the Road Department prior to beginning work. Any tile that may be needed must be sized by the Road Department.

Drainage Conditions:

1. Provide 1' of freeboard in the pond for the 100 year water surface elevation
2. Provide ditch calculations including depth and velocity. Show that the ditch can convey the 100 year event
3. Confirm that Mud Creek at this location does not fall under the City of Fayetteville streamside ordinance
4. Obtain drainage easement/s from neighboring property owners to the south.
5. The grading plans in the LSD submittal show the previous drainage design. Please update the plans to reflect the current design

Environmental Conditions:

1. No stormwater permit is required by Washington County at this time; however, applicant must comply with all rules and regulations of the Arkansas Department of Environmental Quality. www.adeq.state.ar.us

Signage/Lighting/Screening Conditions:

1. No signage is allowed within Washington County's road right-of-way (ROW).

2. All outdoor lighting must be shielded from neighboring properties, and any lighting must be indirect and not cause disturbance to drivers or neighbors. Additionally all security lighting must be shielded appropriately.
3. A sketch of the proposed sign must be submitted to Washington County Planning for approval prior to the sign being placed.
4. No additional signage is allowed to be placed.
5. All outdoor lighting must be shielded from neighboring properties, and any lighting must be indirect and not cause disturbance to drivers or neighbors. Additionally all security lighting must be shielded appropriately.
6. All outdoor storage and dumpster must be screened with opaque material (gates must be opaque too).

Addressing Conditions:

1. The applicant must apply for 911 addresses to be assigned. 911 addresses must be shown on the Final Plat at Final LSD.

Utility Conditions:

1. Any damage or relocation of utilities will be at the expense of the owner/applicant.

Additional and Standard Conditions:

1. Pay engineering fees. This total will be calculated at the Final LSD phase for this project once all invoices are received.
2. A statement from the applicant, owner, architect or engineer must be submitted prior to the building being occupied that says the building, parking, access, and restrooms are in compliance with all ADA regulations.
3. Building occupancy must be submitted to the Planning Dept at Construction Plan Review before construction may begin.
4. Hours of operation must generally be as stated (Monday-Friday 8:00am – 5:00pm and weekends as needed).
5. Any further splitting or land development not considered with this approval must be reviewed by the Washington County Planning Board/Zoning Board of Adjustments.
- 6. This CUP must be ratified by the Quorum Court.**
- 7. No work may begin for this project until Preliminary Large Scale Development has been approved by the Planning Board.**
- 8. It is the applicant's responsibility to contact the Planning Office when inspections are needed.**
9. All conditions shall be adhered to and completed in the appropriate time period set out by ordinance.
 - This project does require additional Planning Board review (Large Scale Development). Therefore, the Preliminary Large Scale Development plans must be submitted within 12 months of this CUP project's ratification.
- 10. Final Large Scale Development approval will be required prior to occupation of this proposed office building.**

PRIOR PLANNING BOARD/ZONING BOARD OF ADJUSTMENTS ACTION:

_____	CUP Approved
_____	CUP Ratified
<u>May 3, 2018</u>	Denied
_____	Tabled

**MINUTES
WASHINGTON COUNTY PLANNING BOARD
&
ZONING BOARD OF ADJUSTMENTS**

January 11, 2018

5:00 pm, Quorum Court Room, New Court House
280 N. College Ave.
Fayetteville, Arkansas 72701

DEVELOPMENTS REVIEWED:

ACTION TAKEN:

CONDITIONAL USE PERMIT HEARINGS

County

a. Cincinnati Cell Tower CUP

Approved

Fayetteville Planning Area

b. Old Wire Services & Recreational Facilities CUP

Tabled

LAND DEVELOPMENT HEARING

Fayetteville Planning Area

c. Old Wire Services & Recreational Facilities Preliminary LSD

Tabled

CONDITIONAL USE PERMIT HEARING

County

d. Flamingo Springs CUP

Approved

LAND DEVELOPMENT HEARINGS

County

e. Flamingo Springs Preliminary LSD

Approved

Fayetteville Planning Area

f. Eastern Park Subdivision Final Subdivision

Approved

County

g. Huntsville Rd (Eastside Self Storage) Final LSD

Approved

Goshen Planning Area

h. Habberton Wedding Chapel Preliminary LSD

Approved

1. ROLL CALL: *Roll call was taken. Members present include Daryl Yerton, Kenley Haley, Philip Humbar, Joel Kelsey, and Robert Daugherty. Randy Laney and Walter Jennings were not present.*

2. APPROVAL OF MINUTES: *Daryl Yerton made a motion to approve the minutes of December 7, 2017. Philip Humbar seconded. All board members were in favor of approving. Motion passed.*

3. APPROVAL OF THE AGENDA: *Daryl Yerton made a motion to approve the agenda. Joel Kelsey seconded. All board members were in favor of approving. Motion passed.*

6. If all Administrative Tower requirements cannot be met, this tower will have to undergo full Tower Review by the Planning Board; utilities and other agencies would then review this project.
7. All conditions shall be adhered to and completed in the appropriate time period set out by ordinance.
 - This project requires additional review; the applicant must submit for either Administrative Tower Review OR Full Tower Review within 12 months of this CUP project's ratification.

Washington County Planner, Sita Nanthavong, presented the staff report for the Board Members.

No Public Comments.

Public Comments Closed.

Joel Kelsey made a motion to approve the **Cincinnati Cell Tower CUP** subject to staff recommendations. Kenley Haley seconded. Randy Laney and Walter Jennings were not present. Board Members Philip Humbar, Joel Kelsey, Robert Daugherty, Daryl Yerton and Kenley Haley were in favor of approving. Motion passed.

Fayetteville Planning Area

b. Old Wire Services & Recreational Facilities CUP

Conditional Use Permit Request

Location: Section 30, Township 17, Range 29

Owner/Applicant: Patrick J. Tobin Revocable Living Trust

Surveyor/Engineer: Bates & Associates, Inc.

Location Address: Old Wire Rd. WC 87

Approximately +/- 19.4 acres

Proposed Land Use: Commercial Rentals

Coordinates: Latitude: 36.12103716, Longitude: -94.10753190

Project #: 2017-199

Planner: Sita Nanthavong email: snanthavong@co.washington.ar.us

REQUEST: Old Wire Service and Recreational Facilities is requesting Conditional Use Permit approval to allow the building of service and recreational facilities buildings on a property that is approximately 19.42 acres in size and is currently zoned for Agricultural and Single Family Residential Uses.

CURRENT ZONING: Project lies within the County's Zoned area (Agriculture/Single-Family Residential 1 unit per acre).

PLANNING AREA: This project is located within the City of Fayetteville Planning Area.

QUORUM COURT DISTRICT: District 15, Butch Pond

FIRE SERVICE AREA: Goshen VFD

SCHOOL DISTRICT: Fayetteville

INFRASTRUCTURE: Water- Fayetteville Hills
Telephone- AT&T

Electric- Ozarks Electric

Natural Gas- Black Hills

Cable- Cox Communications

BACKGROUND/PROJECT SYNOPSIS:

The project was presented to the Washington County Planning Board on September 7, 2017 and tabled by the Planning Board members. Please see the attached excerpt of the minutes from the September 7, 2017 Planning Board meeting attached.

The owner of this property is the Patrick J. Tobin Revocable Trust. The applicant is Pat Tobin with representation by Bates and Associates.

Old Wire Service and Recreational Facilities is requesting **Conditional Use Permit** approval and **Preliminary Large Scale Development** approval to allow the building and leasing of service and

recreational facilities buildings on a property that is approximately 19.42 acres in size and is currently zoned for Agricultural and Single Family Residential Uses.

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A submitted letter from the applicant contains more detail. Please see attached.

TECHNICAL CONCERNS:

Water/Plumbing/Fire Issues:

This CUP request was reviewed by the City of Fayetteville and the County Fire Marshal.

Fayetteville Water services this area. Corey Granderson, Staff Engineer for the City of Fayetteville, commented that the revisions of the submitted project plans dated 11/02/2017 are acceptable in concept: a proposed looped waterline system connecting to the Rid-A-Pest property. After Washington County approval, the applicant must submit plans and utility permit application to the City of Fayetteville Engineering Division for Permit Review.

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Health Department Issues:

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Soil analysis has been conducted and submitted to the Health Department for buildings 3 through 8. Based upon the soil analysis and the Loading Rates for Residences and Commercial Establishments table, only a maximum of 12 occupants may be present within each building per day; this includes employees and customers. This may change once permits are submitted to the Health Department.

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The Health Department would like to note that the layout of the lateral lines and fields may change once permits have been filed with the State.

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One entrance is proposed for the first phase. A second entrance will be added during the second phase of construction as per the fire code due to the length of the access drive.

Any work done in the County right-of-way will require a permit from the Washington County Road Department prior to construction.

Drainage:

A Drainage Report was submitted. The Washington County Contracted Engineer, Zach Moore, has reviewed this report. Here are his statements:

- Drainage Report: Please provide 1' of freeboard in the pond for the 100 year water surface elevation.
- Drainage Report: Please provide ditch calculations including depth and velocity. Show that the ditch can convey the 100 year event.
- Drainage Report: The proposed ditch ends at the southern property line approximately 100' prior to Mud Creek. The drainage patterns with the development would be revised releasing more volume in a concentrated flow onto the adjacent property to the south. In predevelopment conditions, Basin 1 drains to an existing drainage ditch on the adjacent property to the west and then flows south down a road side ditch to Mud Creek. Therefore, even with the close proximity of the creek, written permission must be granted by the property owner to release a concentrated flow onto the property (preferably in the form of a drainage easement). Also, please confirm that Mud Creek at this location does not fall under the City of Fayetteville streamside ordinance. If it does fall under this ordinance, a level spreader may be required at the end of the ditch prior to the flow entering the creek.
- Plans: The grading plans in the LSD submittal show the previous drainage design. Please update the plans to reflect the current design.

Environmental Concerns:

No stormwater permit is required by Washington County at this time; however, applicant must comply with all rules and regulations of the Arkansas Department of Environmental Quality. www.adeq.state.ar.us

Signage/Lighting/Screening Concerns:

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COMPATIBILITY CONCERNS:

Surrounding Uses:

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Site Visit:

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Neighbor Comments and Concerns:

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Roads/Sight Visibility/Ingress-Egress/Parking Conditions:

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2. One entrance is proposed for the first phase. A second entrance will be added at the second phase of construction.
3. No signage or parking is allowed within Washington County's road right-of-way (ROW), and none is shown on the submitted plans.
4. The Road Department requires a minimum 30' ROW to be dedicated on the applicant's side of the road (if applicant owns both sides, both sides must be dedicated).
5. Generally, any work (i.e. clearing, grading, driveway install) to be completed in the County Road Right-of-Way requires a permit from the Road Department prior to beginning work. Any tile that may be needed must be sized by the Road Department.

Drainage Conditions:

1. Provide 1' of freeboard in the pond for the 100 year water surface elevation
2. Provide ditch calculations including depth and velocity. Show that the ditch can convey the 100 year event
3. Confirm that Mud Creek at this location does not fall under the City of Fayetteville streamside ordinance
4. Obtain drainage easement/s from neighboring property owners to the south.
5. The grading plans in the LSD submittal show the previous drainage design. Please update the plans to reflect the current design

Environmental Conditions:

1. No stormwater permit is required by Washington County at this time; however, applicant must comply with all rules and regulations of the Arkansas Department of Environmental Quality. www.adeq.state.ar.us

Signage/Lighting/Screening Conditions:

1. No signage is allowed within Washington County's road right-of-way (ROW).
2. All outdoor lighting must be shielded from neighboring properties, and any lighting must be indirect and not cause disturbance to drivers or neighbors. Additionally all security lighting must be shielded appropriately.
3. A sketch of the proposed sign must be submitted to Washington County Planning for approval prior to the sign being placed.
4. No additional signage is allowed to be placed.
5. All outdoor lighting must be shielded from neighboring properties, and any lighting must be indirect and not cause disturbance to drivers or neighbors. Additionally all security lighting must be shielded appropriately.
6. All outdoor storage and dumpster must be screened with opaque material (gates must be opaque too).

Addressing Conditions:

1. The applicant must apply for 911 addresses to be assigned. 911 addresses must be shown on the Final Plat at Final LSD.

Utility Conditions:

1. Any damage or relocation of utilities will be at the expense of the owner/applicant.

Additional and Standard Conditions:

1. Pay engineering fees. This total will be calculated at the Final LSD phase for this project once all invoices are received.
2. A statement from the applicant, owner, architect or engineer must be submitted prior to the building being occupied that says the building, parking, access, and restrooms are in compliance with all ADA regulations.
3. Building occupancy must be submitted to the Planning Dept at Construction Plan Review before construction may begin.
4. Hours of operation must generally be as stated (Monday-Friday 8:00am – 5:00pm and weekends as needed).
5. Any further splitting or land development not considered with this approval must be reviewed by the Washington County Planning Board/Zoning Board of Adjustments.
6. **This CUP must be ratified by the Quorum Court.**
7. **No work may begin for this project until it receives Conditional Use Permit approval and Preliminary Large Scale Development approval, is ratified by the Quorum Court, and all plan changes are completed and approved by Planning Staff.**
8. **It is the applicant's responsibility to contact the Planning Office when inspections are needed.**
9. All conditions shall be adhered to and completed in the appropriate time period set out by ordinance.
 - This project does require additional Planning Board review (Large Scale Development). Therefore, the Preliminary Large Scale Development plans must be submitted within 12 months of this CUP project's ratification.
10. **Final Large Scale Development approval will be required prior to occupation of this proposed office building.**

Washington County Planner, Sita Nanthavong, presented the staff report with updates for the Board Members.

Joel Kelsey, Planning Board Member, assessed that the remainder of the property if built on would have to be presented to the Planning Board before any construction could begin on it.

Public Comment

JR Carroll, Attorney representing the applicant, addressed the Board "I would just like to say that I think the staff did a very thorough job, so I am going to be brief, they actually did a much better job than I could have. A couple of things I think need to be addressed; traffic, this street flows from Joyce Street which is the highest density commercial road in Northwest Arkansas. Joyce Street and College is its busiest intersection. Arkansas Highway Traffic counts have this road classified as a 10, which is 10,000 to 20,000 occupants on that road on a daily basis. This road is a high traffic road. It has nothing to do with this development that's going to make this a high traffic road. This is not a county residential road; this is a main artery for individuals that go from east of county into town. This property sits a tenth from the city limits. As the staff indicated there is a utility substation, there are storage units; this property sits directly between a pesticide company and a plumbing company. That plumbing company has a high barbed wire fence. This property, if it were ever going to be residential, has outlived its life of a residential property. My wife's grandfather is a third generation Fayetteville resident and when he moved out to Township right by College he was told that people would never come to visit him because he lived

too far out of town; the town grows. These are all commercial properties. The only residential properties on this road are a smattering of about 4 or 5 homes and one subdivision which is almost 100% tenant occupied. I have heard that there was going to be concerns that "Oh there are going to be tenants out here", well there's already tenants. If for any reason Modern Mission doesn't work, the only use for that building is a warehouse; it is basically a warehouse building. If you go up and down that street there is nothing but warehouse buildings on that street. As far as use, the property owner can't do anything on that property until it comes back to staff and staff approves that use. It seems like there has been some confusion that if you all approve this conditional use that they just have a blank check to whatever they want to do with the property; that's never the case that is just not how your regulations are set up. Lastly, yes the City of Fayetteville has commented that this should be light agriculture. That's convenient for the City of Fayetteville, they would like every property outside of the city limits so that any commercial revenue that is generated goes to the City and not the County. I would also note that when this was first presented to you all, the City of Fayetteville had no comments whatsoever. It was only when they were contacted by an attorney for one of the neighbors did the City of Fayetteville finally jumped up and says "well this is light agriculture". But I don't think in speaking with the City that they actually looked at the street to determine that there are plumbing companies out there, there are pesticide companies out there, there are warehouses and a utility substation and there is already a storage unit. A lot of these residences were built after that large storage unit was already there. This is not a sneak up we got you and we are going to turn this property into commercial property and you could have never seen this coming. Joyce is right there at the stoplight. You can literally see it from this property. There are two pages of small type print of conditions that the staff has put on my client; my client has no problems with any of these conditions. The only condition that my client would like to point out is that my client will have to provide a sketch before they erect their sign to try to ease everybody's concerns. We will go on record and have it as a condition that any sign that goes up on this property will meet the City of Fayetteville sign ordinance which is the most restrictive sign ordinance of any municipality in the State of Arkansas. It is just a way for us to try to let everybody know that we are going to be good stewards of this property and we are going to build a nice product. The only other concerns that I hear is why we are doing it in reverse and why don't we know what the tenants are going to be. Well, usually in a case like this if you're going to develop property you have to go to the bank and they want you to have so much percentage of proposed tenants already in place so that they know that they are not going to be getting the building back in 3 or 4 months. My client doesn't need to go through that process. My client has developed property for the last 40 years in Northwest Arkansas. It knows this property will work and it also has the funding to maintain the property even if for chance it didn't work for the first 5 months. This is not a situation where this property will ever go into a destitute state. Thank ya'll for ya'll's time."

Christina Gall, neighbor across the street, addressed the Board, "My husband and I purchased this property 20 years ago and there were covenants in place in which we had to abide by and that was one of the reasons that we purchased this property. I realize now that those covenants went out of statement several years ago; however, the first thing on that list was that all the properties on that list would stay residential. We've raised our boys there and want to raise our grandchildren there and future generations. I just believe that this land was never meant for any type of commercial rental property. Right now I look out my front window and I see beautiful trees, landscape, horses, and a beautiful country setting. If this project is allowed to go forward I am going to have to look at 10 commercial buildings. I have lived in this area 20 years; I don't want to look at 10 commercial buildings. I am sure none of you would like 10 commercial buildings in your front yard. That is not the setting of the area that we have there. I have a copy of the covenants, if anybody would like to see them, of when we purchased the property. I can't stress enough that this property is zoned agricultural residential rural, and again Andrew Gardner, the City Planning Director, wrote you all a letter which I am sure you all have copies of with his concerns about all of this. I just can't stress enough that even the City's plans all the way up to 2030 is that this is a rural area. Yes, there are other businesses out there but they are all individually owned business, they are not commercial rental property. They are not a bunch of commercial buildings

all together in one area. They go with the community, the neighborhood and they are individually owned and taken care of and landscaped; they look like houses. Traffic wise, yes Joyce is a busy street, but we are not on Joyce we are on Old Wire we have that curve there the stop sign comes up and meets and that turns into Old Wire; it's a two lane country road, regardless. There is quite a bit of traffic some days but on the weekends and most days it's not bad at all. It is a two lane road and if there are construction trucks or dump trucks or somebody blocking whatever traffic is backed up, it's not good. We also talked about the tree line, I can see directly across the street from my house. There is no tree line there is just this beautiful lot, I have a picture of the view of it. We talked about drainage problems with the water, the cottages that were put in there. This is a picture of my ditch on a perfectly dry normal day, you go down three houses their ditch is full of water with their decentralized systems. Again, I hope that you do the right thing and deny that this project is allowed to go forward. Thank you."

Jody McAllister, neighbor next door to Mike and Christine Gall, addressed the Board, "I have lived there since 1992, probably the longest person out there. There were no warehouses out there when we started as Christine said. I am against this project. I don't think it is going to fit what we need. The primary reason that I am against it is the uncertainty. It's the unknown. I know the plumbers there. If I have an issue with them I can go talk to them. I know Tim at the Rid-a-Pest is there, I can go talk to him. He is the only one that manages that. Travis Fink, the person that manages Modern Mission, is a single person that runs that, I can talk to him about what is going on there. The uncertainty of what is going to go in there and the recourse we would have. If something were to go in that we have no control of, I don't know what my recourse would be. Would I come back to you guys, would I go to the county attorney or would I have to go spend \$1,500 on an attorney every time we have a question about what is going to go in there? That is the biggest issue I have, is the uncertainty in this. I think there attorney was quite accurate that is a heavily trafficked road and to add more to it does not make sense. The other businesses are owned and occupied by their owners so we can go talk to them when we need to. I think if Mr. Tobin would put in a building that he owned and occupied himself and managed his own real estate business out of that and the sole purpose would be to manage his real estate businesses in an office that fit the rest of the properties. Now retail rental, we don't have it out there, we don't need it out there. They act like there is nobody living out there; there are a lot of families living out there. This is directly across the street from my house; the driveway goes directly into my driveway. There are a lot of people living out there. I have horses out there, it was listed as residential agricultural and that is what I wanted and that is what we have. This doesn't fit that there is just too much unknown too much uncertainty of what's going on. It is just something that doesn't fit for that property out there. Thank you."

Tim Ware, Owner/Operator of Rid-a-Pest, addressed the Board, "I just wanted to say that I do agree with what Jody and Christine have had to say here. I just wanted to reiterate that I am opposed to the multiple rental units that are in this area, there is nothing like that here. I know JR compared that to the multiple mini storage units but that is quite a bit different from commercial rental businesses that will be in there. As far as the number of homes out there, and Jodi kind of alluded to this, JR mentions there may be four or five homes out there; I just sat there and counted nine from this side of the power station that he referenced up to the corner where it turns into Butterfield Coach Road. There are quite a few families that live in that area. I went through the process with you guys; I gave you guys everything that you asked for, it is a good process, it works for the county. I would just ask that Mr. Tobin, as well as others, even if I come before you guys again, that everybody is held to the same standards and the same requirements to go through the process of approval. Again it seems to work, Washington County is a nice county to be in. In my opinion our part of the county over there is a pretty nice part of the county and we would like to keep it that way. That everyone is held too. I feel like the multiple commercial rental units, is not desirable to any of us that live out there. Thank you guys for your consideration."

Todd Hall, neighbor catty-corner to the northwest of the development, addressed the Board, "I have lived there since I believe '94. My concerns are basically the same as the rest of my neighbors. The amount of

buildings is one of my concerns and I feel like it won't be a right fit for the neighborhood. In the past the developer, it didn't appear to me that he was the best on upkeep and maintaining it. I had a friend that rented from him in the past that discussed those types of problems. That is my biggest concern and I am in agreement with everybody else and I don't know if that is the best fit for the neighborhood with the ten rental units there. Thank you."

Robert Rhoads, Attorney representing some of the neighbors, addressed the Board, "I appeared before you all the last time this was discussed which I think was 7th of September. I have a recollection from reviewing my notes of how the discussion went. I realize it ended in tabling it. I think as you all were discussing it, you also discussed some of the concerns you all had with it and it wasn't just a matter of procedure, there were some concerns. That made me start thinking so what has changed from the last meeting to now? It appears that we've got elevations in your packets that would show what the outside of the building would look like. I think there were some safety things that were highlighted. I think they made some changes in the letter of intent. In reality, I think you still have some of the same compatibility issues; the fact that you are not looking at approving one building, this is ten buildings. The procedure before in this area, as Tim Ware testified to just a minute ago, he went through the process and he laid out exactly what he was going to do with the property. I realize that the applicant has indicated what those uses are; I would say those are very general uses except for maybe the batting cage seems fairly specific. If a conditional use permit is granted and gets ratified by the quorum court it makes it a lot more difficult for someone to come in and try to stop what that new use could be. Especially if it is a tenant that wants to stay on that lease but they want to change what they are doing and as long as the legal rights on the lease it could be something that is radically different than anything that you all had considered. In the past when you all had approved other light commercial that had already been discussed it was always owner occupied. If you are thinking about compatibility issues then if you have all those residences out there and you have people that live out there and a running a little bit of a business. That is different from having ten buildings with tenants who you wouldn't know who they were. The other thing Mr. Andrew Gardner indeed did write a letter that addressed his concerns about compatibility and take that letter and give it a good look again. As I looked at the information that the planning staffers and Bates and Associates have pulled together and it talks about ten buildings it talks about what is going to be permitted, which is twelve customers per day per building that is what is laid out in the planning staff report. I would just caution ya'll about approving something that just doesn't make sense. If you look at Bates and Associates November 3rd letter they indicate since tenants have not yet been secured proposed traffic is based upon building occupancy loads and they estimate that the hours would be from 7am to 7pm. Well what the applicant has said earlier and what the planning staff hung their approval on is that it was going to be a nine hour period that the buildings would be used and open. In the report they are basing how the normal use would be and that is a twelve hour day, they also talk about the number of occupants per building and in each and every one of them they are all over twelve. I think the reason Bates and Associates has laid this out is because well that's the type of numbers you would have to have for Mr. Tobin to make a return on his investment. If you approve this you approve it knowing that he is going to have to do something different than what is before you in order for him to make it work. I would ask you to keep that in mind as well. Thank y'all."

Public Comments Closed.

Kenly Haley, Planning Board Member, inquired, "I am just a little confused, before we have always had a business with a plan, and this is open ended. So let's say we had a church, they rented this space to a church. How is it determined the septic, fire and road regulations are met? After the fact how could you do that? How is this going to work?"

Jim Kimbrough, Planning Director, answered, "This project we focused on, with the help of the Health Department, the septic. We didn't know who the occupants were going to be so we are going to have to

figure out how many people can actually utilize that structure based solely on what the septic can hold. So the occupant loads that are mentioned here are based on the concept and those have not been permitted yet, they may change. The concept and the sq. ft. really boiled down to how many occupants could utilize the structure and still be in compliance with the septic flow. To answer your question about the 5,000 sq. ft. building, and you alluded to a church; tell me more about what you are looking for there.”

Kenley Haley continued, “Well I was just saying, when you have it open-ended on weekends it could be rented to a church, I don’t know what a maximum capacity for a 5000 sq. ft. building would be in that instance, but let’s just say if you had three of those buildings rented to a church it looks like to me that it depends on who rents the buildings that your septic max could change.”

Jim Kimbrough replied, “It does. That is why we are being very restrictive on the front end. Thus the three and four pages in conditions so we could try to dictate to a degree what was going to go. The 5,000 sq. ft. piece if it were a church you know with that we could run into a sprinkler system before it is all over with. If it turns into an assembly occupancy, it may not be an assembly occupancy it may be a workshop of sorts. We don’t know for sure but what we were going to work through with the applicant with was, you are going to have to call it when you get a tenant, you have to commit and when you commit then we are going to have to work through the septic piece and make certain we are good there and that is what sets the stage for us determining true occupancy. It is hard; it is backwards, we don’t know going from the front, so we are trying very hard to accommodate the applicant by looking at it in a different way.”

Daryl Yerton, Planning Board Member, asked, “But even in this particular situation if the needs of the business change over time and they are in a three year lease or five year lease or an annual lease, and their business rate is five or seven customers a day and it turns into thirty-five to forty customers a day, I see an issue there with the potential of it being beyond what the scope is and the landlords restriction with the tenant that is already locked into a lease and at that point I don’t know what the county can do to remediate that problem. Can we step in?”

Jim Kimbrough responded, “We would if we knew about it but think about this, you can have a CUP approved and it could be a workshop and you can have five or six people in it and they sell it, or it changes hands that is not any different than what you are getting at here, something changes. Well something changes regardless of whether we load this thing on the front end or going backwards like we are with this project or whether it went through a traditional type CUP so I am not getting all torn up about that. To answer your question, how could we mitigate if that type of thing happened and I am going to tell you that there is probably instances in the county where we do not know. We would go back through and it would be based on the occupancy and the use and if the occupancy increased and the septic couldn’t sustain that then that is not something that we obviously try to get approved.”

Daryl Yerton added, “Where I am really struggling with this is the surrounding environment and let’s say for example that a tenant has the very best ice cream that’s ever been produced in the world and it blows up and its quantity. If it were an already established semi-commercial environment I don’t think that is an issue but here we are an agricultural low density residential area and all of a sudden we have one unit in a ten unit building that has a great demand for traffic, and I don’t mean street traffic I am talking business traffic. That is very good for the tenant and the landlord but it is very cumbersome on the rest of the community. So that is why I am struggling with this.”

Jim Kimbrough stated, “The residential part?”

Daryl Yerton clarified, “Yes, the surrounding environment part, not just the residential.”

Jim Kimbrough went on, "We certainly considered the letter that Fayetteville sent and we looked at it. We have shown you a diagram that shows it is not as pastoral as it seems. There are a number of businesses in the area. We are not refuting what they are saying or what their intent is or what they want. We are simply showing you the reality of that particular area. You could have a business do exceedingly well there but the bottom line is going to be that with any of these structures that are being built, it will only sustain a business that can be confined by the confines of the parameters of the septic after that you can't put any more people in there than what that would take. What we are doing on the front end that is showing that it is rather restrictive but again you have to keep in mind that those are concepts. There are no permits from the Arkansas department of Health yet, when an occupant gets there that is when that will kick in."

Kenley Haley determined, "I think it is the uncertainty that you mentioned that we don't have a business, a business plan, we have buildings and that is just too uncertain for me. The other thing that was in several of the letters and the redirection of the storm water to the south that was mentioned several times, has our engineer looked at that?"

Sita Nanthavong responded, "He has been working with Bates and Associates staff engineers on how to redirect the water so that it's not going into adjacent property owners like it originally was. We are redirecting it down towards the creek. The University of Arkansas owns that property to the south so before we would actually say ok we would need the University to actually sign an easement basically saying yes you can redirect water onto our property."

Joel Kelsey, Planning Board Member, remarked, "Ok I have a question then why are we at this point if we haven't obtained all those easements, if they say no this would be a moot point. You wouldn't be able to go forward with this project correct?"

Sita Nanthavong replied, "Right, a lot of things that we do are conditions; this isn't the only project that has conditions. We would just have to figure something else out."

Jim Kimbrough explained, "Tough one it is a backwards deal and it is bothering everyone. It is unorthodox and I understand that we are just not going to sit here and tell you that it's wrong. The uncertainty for the surrounding land owners won't be solved by what we are showing tonight. We can show some elevations of the buildings, I believe them to be compatible. We can talk about some other things but the core problem the last time we spoke was that uncertainty about the specific occupant of the structures. It is a different model; Pat has done it before in other places and has been successful to my knowledge. I am not going to say it is wrong it is just something that we haven't been presented with before. We are struggling with a way to adequately present it to you so that it could be considered fairly. I am not going to sit here and say that it is the wrong business model or that there is anything wrong with this project. It is not going to appease the surrounding property owners because they still don't know and they won't until he gets a tenant. What we have done is create a list that hopefully was comprehensive enough about the bad things that we don't want to fool with and the good things that we would assume would be more tolerable. In terms of things I am talking about the occupants and their businesses and so forth. We have done that and lord we have put the conditions to it to keep it pretty well tamped down. It comes down to a point somewhere in there about being dictated to what can and can't do to your own property. We are trying to be pretty considerate of that and we realize that it is an unorthodox way of presenting a project."

Joel Kelsey stated, "I am struggling with this I don't have the problem with your statement in reference to your property and so forth but my issue is we spent time on this in September. Here we are again in January and we are sitting here discussing a project that we don't have all the easements in place enable to do this and you are asking us to vote on it."

Jim Kimbrough replied, “You have the opportunity to vote in favor of it or against it but you also have an opportunity to table it and we will continue to work on it. We had an issue with the way the water was moving and we got that changed, but then it created another issue in a way that might not be an issue at all, we may get these easements. It is a better set up in terms of storm water removal than what we had. We have made improvements through the project and it’s taken awhile. We are going to continue working with any applicant and continue making improvements. In addition to that, we have shown that there are other businesses in the area and it’s not as it is portrayed as the residential area, particularly even with the City of Fayetteville. I am tickled Garner feels that way and I understand the 2030 plan and all that, it is County property it is going to be our decision.”

JR Carrol stated, “It is one easement with the University of Arkansas. They grant easements all the time as long as the purchase price is right. To be honest given this plan we need that easement if you all don’t approve this plan than we might not need that easement and it wouldn’t make much business sense to go out and purchase an easement for what you don’t need. It is simply a matter of if you all approve or disapprove of this project it is still not going anywhere. Thank you.”

Kenley Haley made a motion to table the **Old Wire Services & Recreational Facilities CUP** to give applicant time to resolve some issues. The motion failed for lack of a second.

Daryl Yerton made a motion to deny the **Old Wire Services & Recreational Facilities CUP**. Kenley Haley seconded. Robert Daugherty, Vice Chairman, called for a roll call. Randy Laney and Walter Jennings were not present. Board Members Daryl Yerton, Kenley Haley, and Joel Kelsey were in favor of denying. Robert Daugherty recused himself. Philip Humbar was opposed. Motion failed for lack of a quorum.

Kenley Haley made a motion to table the **Old Wire Services & Recreational Facilities CUP** to be heard at a later date where a quorum would be present. Joel Kelsey seconded. Randy Laney and Walter Jennings were not present. Board Members Philip Humbar, Joel Kelsey, Robert Daugherty, Daryl Yerton and Kenley Haley were in favor of approving. Motion passed.

LAND DEVELOPMENT HEARING

Fayetteville Planning Area

c. Old Wire Services & Recreational Facilities Preliminary LSD

Preliminary Large Scale Development Request

Location: Section 30, Township 17, Range 29

Owner/Applicant: Patrick J. Tobin Revocable Trust

Surveyor/Engineer: Bates & Associates, Inc.

Location Address: Old Wire Rd. WC 87

Approximately +/- 19.4 acres

Proposed Land Use: Commercial Rentals

Coordinates: Latitude: 36.12103716, Longitude: -94.10753190

Project #: 2017- 235

Planner: Sita Nanthavong email: snanthavong@co.washington.ar.us

Daryl Yerton made a motion to table the **Old Wire Services & Recreational Facilities Preliminary LSD** to be heard at a later date where a quorum would be present. Joel Kelsey seconded. Randy Laney and Walter Jennings were not present. Board Members Philip Humbar, Joel Kelsey, Robert Daugherty, Daryl Yerton and Kenley Haley were in favor of approving. Motion passed.

CONDITIONAL USE PERMIT HEARING

County

d. Flamingo Springs CUP

Conditional Use Permit Request

Location: Section 14, Township 14 North, Range 32 West

Owners/Applicants: Zach & Laura Kraus

Surveyor/Engineer: Glenn Carter



Bates & Associates, Inc.

Civil Engineering - Land Surveying - Landscape Architecture

7230 S. Pleasant Ridge Dr. Fayetteville, AR 72704
PH: 479-442-9350 * FAX: 479-521-9350
www.nwabatesinc.com

November 20, 2017

To the Washington County Planning Staff,

**Re: Old Wire Rd. Service and Recreational Facilities
Tenant restrictions**

Our client, Pat Tobin, has proposed a Large Scale Development Plan for commercial businesses located in Washington County and within the City of Fayetteville's planning area. This project was previously tabled at the planning commission meeting dated September 7, 2017.

The proposed project entails 10 buildings: (6) six buildings at 5,000 Sq. Ft., (2) two buildings at 3,600 Sq. Ft., (2) two buildings at 2,500 Sq. Ft., and associated grading, and parking lots. Each building will be leased out as tenants are secured. Architectural elevations, floor plans, elevations, code study and life safety plans submitted with this resubmittal all reference building use and occupancy classifications for each design. Considering that this is the preliminary stage of design and tenants are not yet secured, we are proposing business uses to include, but not to be limited to, the following:

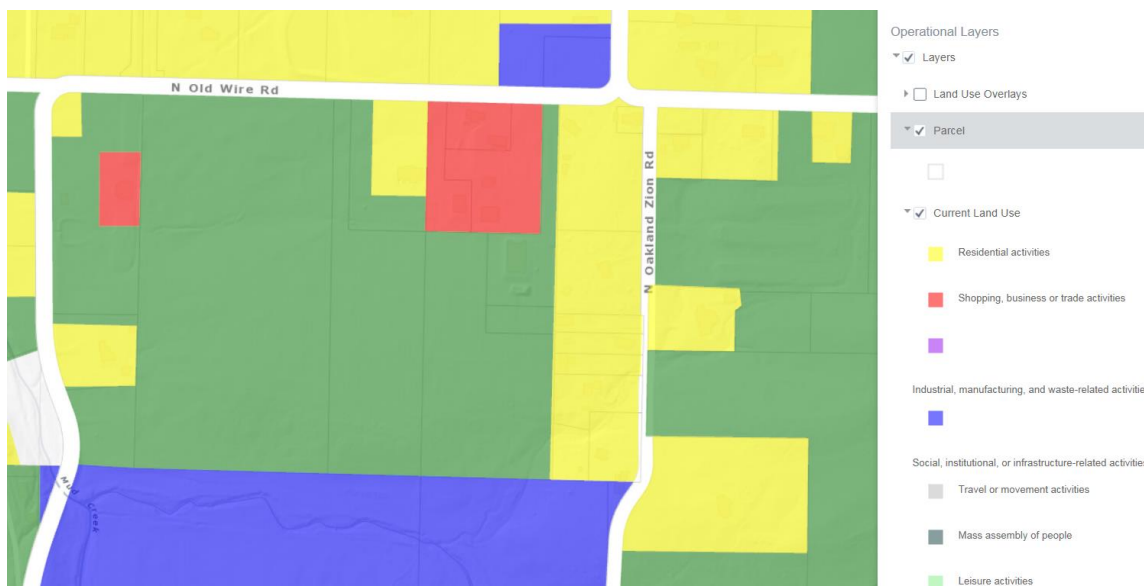
- Glass shop & showroom
- Antique print shop
- Baseball pitching & hitting
- General business offices
- Utility company offices
- Excavation business office
- General warehouse

Again, considering that tenants have not yet been secured to discuss individual preferred business hours, we are proposing business hours that are known to be typical for the above listed uses. Although business types are unknown, we have compiled a list of the types of business that will be restricted from leasing at this location:

- Sexually oriented businesses
- Adult book and novelty store
- Bar and/or Night club
- Circus'
- Chicken farms
- Salvage yards
- Heavy equipment businesses
- Gambling establishments such as casinos
- Illegal businesses (ex: counterfeit items, illegal drugs, pirated music stores, any business providing peripheral support of illegal activities)
- Concrete/Mining plant
- Dog/animal mills
- Firework manufacturing facility

Existing commercial property located (running east and west) along Old Wire Road (WC 87) consists of: United Church of Christ, Oakland Church, Modern Mission Outdoor Laser Tag, Joyce Street Storage and U-Haul Neighborhood Dealer, DBJ Construction (adjacent on the west side property line), J&M Real Estate Holdings, Washington County Regional Ambulance Authority, and most recently Rid-a-Pest (adjacent on the east side property line).

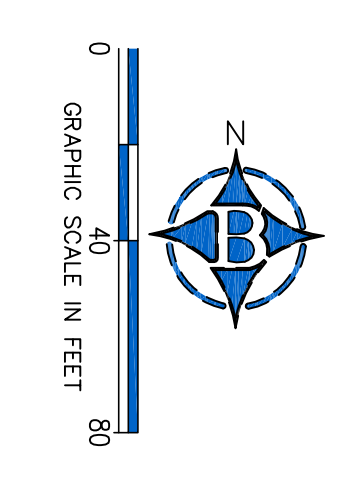
With the current mixture of residential activities, shopping, business/trade activities, industrial, manufacturing, and waste-related activities, as well as natural resource related activities along Old Wire Rd. that is shown on City of Fayetteville's Land Use GIS mapping, and recently added commercial property along Old Wire Rd. we feel that our project would be compatible with the surrounding uses (see below image from City of Fayetteville website).



Please contact me if you have any questions.

Sincerely,

Tina Ford
Project Manager
Bates and Associates, Inc.



WEST PART

PROPOSED	EXISTING	DESCRIPTION
		ASPHALT (EXISTING)
		ASPHALT (GRAB)
		BUILDING (EXISTING)
		BUILDING (GRAB)
		ROCKLAND
		CABLE TV (UNDERGROUND)
		CABLE TV (GRAB)
		CENTERLINE (UNDERGROUND)
		CENTERLINE (GRAB)
		CONCRETE SURFACE
		CONCRETE (GRAB)
		CURB & GUTTER
		ELECTRICAL (UNDERGROUND)
		ELECTRICAL (GRAB)
		FENCE (UNDERGROUND)
		FENCE (GRAB)
		FIRE HYDRANT ASSEMBLY
		FLOWLINE
		GAS METER
		GAS METER (GRAB)
		MONUMENT (CONCRETE)
		MONUMENT (GRAB)
		POWER POLE (EXTERNAL)
		POWER POLE (GRAB)
		PROPERTY LINE (EXTERNAL)
		PROPERTY LINE (GRAB)
		SIGN
		SPOT ELEVATION
		STORM SEWER PIPE
		STORM SEWER PIPE (GRAB)
		TELEPHONE (UNDERGROUND)
		TELEPHONE (GRAB)
		UTILITY (UNDERGROUND)
		UTILITY (GRAB)
		WATER MAIN PIPE
		WATER MAIN PIPE (GRAB)
		WATER METER
		WATER METER (GRAB)
		WATER THRUST BLOCK
		WATER THRUST BLOCK (GRAB)
		SIDEWALK
		SIDEWALK (GRAB)



PROJECT NO: 17-136

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Civil Engineering & Surveying
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OLD WIRE SERVICE AND RECREATIONAL FACILITIES
 WEST GRADING, DRAINAGE & EROSION CONTROL PLAN
 WASHINGTON COUNTY, ARKANSAS

REVISIONS	DATE
CONCEPT PLAT SUBMITTAL	06/02/17
1ST SUBMITTAL	07/07/17
REVISIONS PER TECH REVIEW	07/25/17
REVISIONS PER TECH REVIEW	07/31/17
REVISIONS PER TECH REVIEW	08/15/17
REVISIONS PER TECH REVIEW	08/25/17
REVISIONS PER PLANNING	11/02/17
REVISIONS PER TECH REVIEW	11/20/17

DRAWN BY: T. Ford ENGINEER: G. Bates

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DRAWING NO: 04A

OLD WIRE SERVICE & RECREATIONAL FACILITIES WASHINGTON COUNTY, ARKANSAS

Large Scale Development Plan

GENERAL NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
- PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S.
- PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
- CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- CONTRACTOR TO INSTALL STRAW EROSION CONTROL BARRIERS AROUND CURB INLETS UNTIL PAVING BASE COURSE IS IN PLACE AND TOPS HAVE BEEN PLACED ON INLETS.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION.
- ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4,000 PSI.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
- ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH AND UNIFORM POURED MORTAR INVERT.
- ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE A WATERTIGHT CONNECTION.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - TYPE 1: ROP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - TYPE 2: SPIRAL RIB METAL PIPE TYPE "R" ALUMINIZED OR BITUMINOUS COATED AS SPECIFIED.
 - TYPE 3: ADS N-12 CORRUGATED HDPE PIPE
- THE CONSTRUCTION AND INSTALLATION OF WATER AND SANITARY SEWER UTILITIES SHALL BE IN COMPLIANCE WITH CITY OF FAYETTEVILLE WATER AND SEWER SPECIFICATIONS, PROCEDURES AND DETAILS.
- IN GENERAL, ALL WATER VALVES, MANHOLES AND FIRE HYDRANTS SHALL BE PLACED TO AVOID BEING LOCATED WITHIN THE PROPOSED SIDEWALK, WHERE APPLICABLE.
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH WASHINGTON COUNTY'S REQUIREMENTS IN CASE OF CONFLICTS THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
- ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- WASHINGTON COUNTY WILL BE INSPECTING ALL STREET AND DRAINAGE IMPROVEMENTS. COPIES OF ALL TEST RESULTS SHALL BE SENT TO WASHINGTON COUNTY IN A TIMELY MANNER.
- UPON PRELIMINARY APPROVAL, CONSTRUCTION PLANS MUST BE APPROVED, BOND AND INSURANCE (WASHINGTON COUNTY MUST BE NAMED ON THE INSURANCE) MUST BE RECEIVED AND APPROVED BY THE COUNTY ATTORNEY PRIOR TO A PRE-CONSTRUCTION MEETING BEING SET UP.
- ABSOLUTELY NO CONSTRUCTION MAY BEGAIN UNTIL THE PRE-CONSTRUCTION MEETING IS COMPLETED AND A GO-AHEAD HAS BEEN RECEIVED FROM WASHINGTON COUNTY AND THE CITY OF FAYETTEVILLE.
- IF THE CITY OF FAYETTEVILLE WISHES TO HOLD A PRE-CONSTRUCTION MEETING AS WELL, WASHINGTON COUNTY WOULD PREFER TO HAVE A JOINT PRE-CONSTRUCTION MEETING.
- APPROVAL MUST BE RECEIVED BY THE CITY OF FAYETTEVILLE PRIOR TO RECEIVING APPROVAL BY WASHINGTON COUNTY.

OWNERSHIP OF DOCUMENTS

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICES IS THE PROPERTY OF BATES & ASSOCIATES, INC. AND IS NOT TO BE USED IN WHOLE OR PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES & ASSOCIATES, INC.

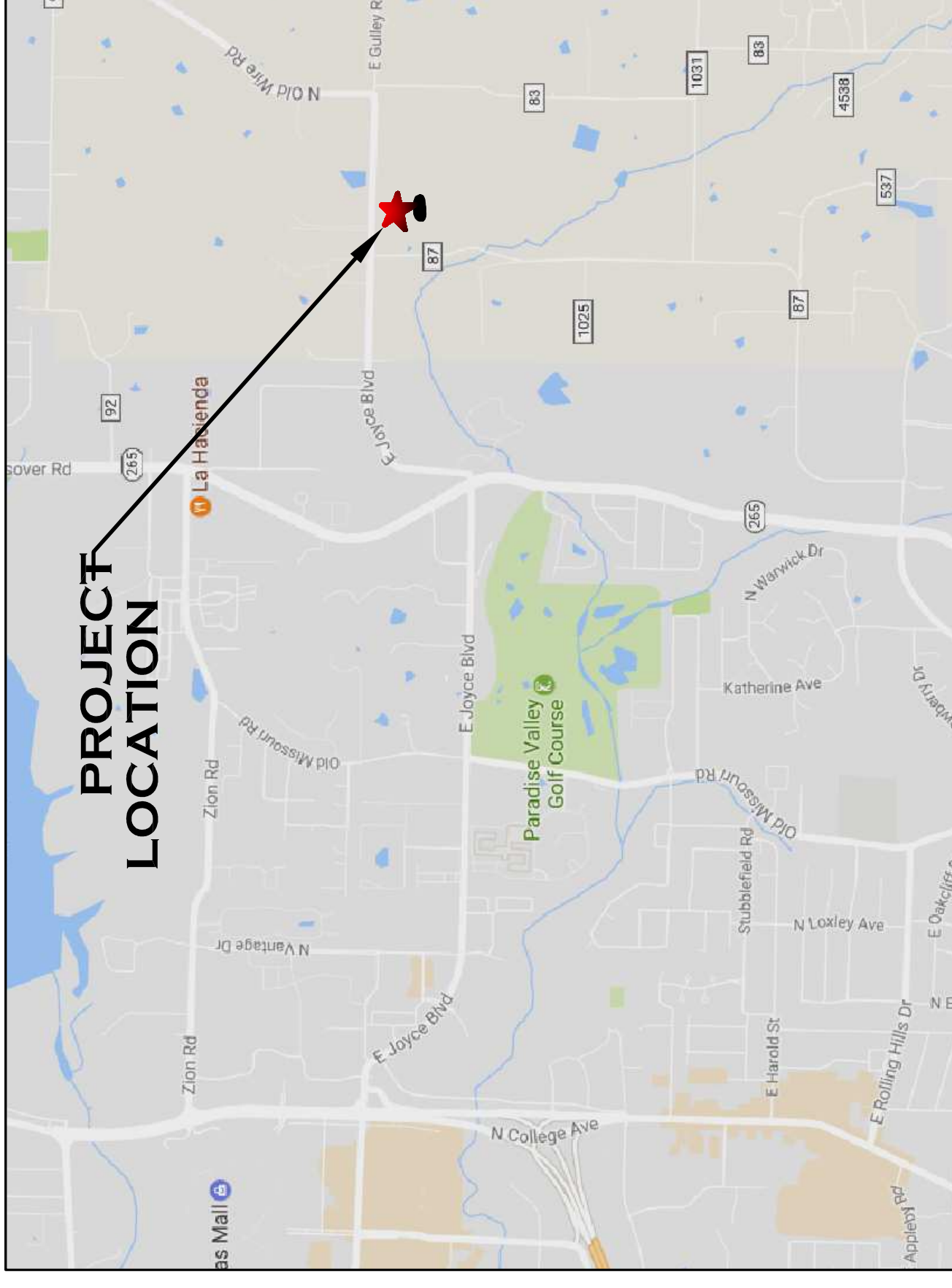
SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.

ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR REPORTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.



VICINITY MAP

N.T.S.

CONTACT INFORMATION

PLANNING: JIM KIMBROUGH (DIRECTOR)
2615 BRINK DRIVE
FAYETTEVILLE, AR 72701
PHONE: (479) 444-1724

ELECTRIC: OZARKS ELECTRIC
MIKE PHIPPS
P.O. BOX 848
FAYETTEVILLE, AR 72702
PHONE: (479) 684-4696

CABLE: COX COMMUNICATIONS
STEFIE THOMPSON
4901 S. 48TH ST
SPRINGDALE, AR 72762
PHONE: (479) 717-3724

FIRE MARSHAL: DENNIS LEDBETTER
PHONE: (479) 444-5740

TELEPHONE: JEFF HAMILTON
AT&T
1133 E. HAROLD ST.
FAYETTEVILLE, AR 72703
PHONE: (479) 442-3107

GAS: BLACK HILLS CORP
MIKE KITE
PO BOX 13288
FAYETTEVILLE, AR 72702
PHONE: (479) 575-1424

WATER: FAYETTEVILLE WATER & SEWER
113 W MOUNTAIN ST
FAYETTEVILLE, AR 72701
PHONE: (479) 575-8386

ROADS: WASHINGTON CO ROAD DEPT
CHARLES WARD
2615 BRINK RD
SUITE 105
FAYETTEVILLE, AR 72701
PHONE: (479) 444-1010

AHTD: AHTD
PO BOX 1424
FORT SMITH, AR 72902
PHONE: (479) 646-5501

BUILDING SETBACKS:

FRONT 25'
SIDE 10'
REAR 20'

THERE ARE NO EXISTING WETLANDS ON THIS SITE.

FLOOD CERTIFICATION:

A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS. (FIRM PANELS #05143002305F. DATED 5/16/2008)

LEGAL DESCRIPTION:

A PART OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 17 NORTH, RANGE 29 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING REBAR ON THE SOUTH MASTER STREET RIGHT-OF-WAY OF OLD WIRE ROAD WHICH IS S87°14'50"E 336.28' AND S02°47'36"W 43.67' FROM THE NORTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE ALONG SAID RIGHT-OF-WAY S87°15'35"E 660.50' TO AN EXISTING REBAR, THENCE LEAVING SAID RIGHT-OF-WAY S02°36'42"W 127.84' TO AN EXISTING REBAR, THENCE N87°01'55"W 684.55' TO AN EXISTING REBAR, THENCE N02°47'36"E 1275.19' TO THE POINT OF BEGINNING, CONTAINING 19.42 ACRES, MORE OR LESS, SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

INDEX OF DRAWINGS

- COVER SHEET
 - OVERALL SITE PLAN
 - SITE + UTILITY PLAN
 - NORTH + SOUTH GRADING,
DRAINAGE, EROSION CONTROL PLAN
 - WEST GRADING, DRAINAGE,
EROSION CONTROL PLAN
 - DETAILS
- ARCHITECTURAL BUILDING (TYPES 3-8)
A0.0 LIFE SAFETY PLAN
A1.1 BUILDING FLOOR/ROOF PLAN
A2.1 BUILDING ELEVATION PLAN
A2.2 BUILDING ELEVATION PLAN (TYPES 3+4)

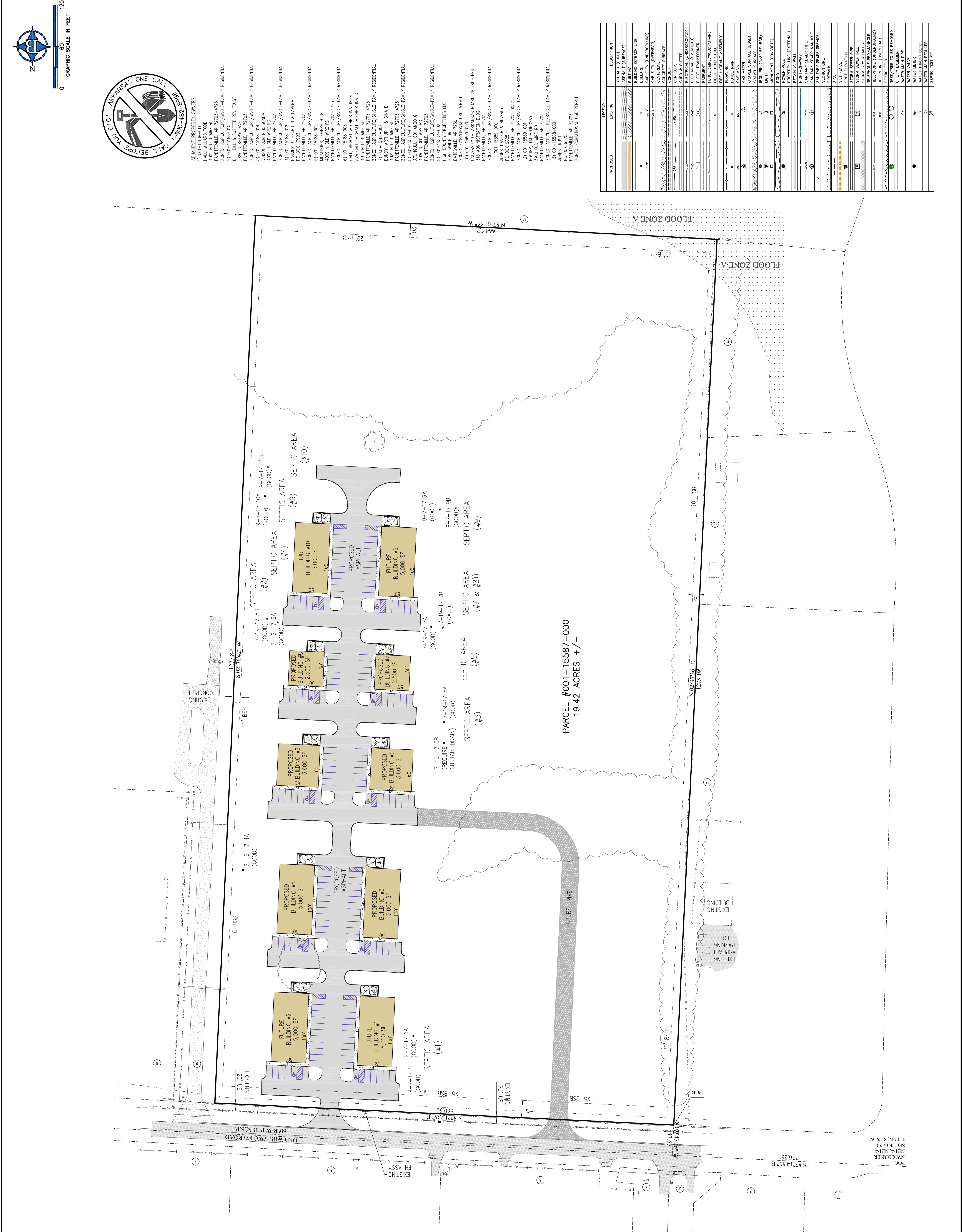
DATE	REVISIONS
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07/10/17	REVISIONS PER TECH REVIEW
07/25/17	REVISIONS PER TECH REVIEW
07/31/17	REVISIONS PER TECH REVIEW
08/15/17	REVISIONS PER TECH REVIEW
08/23/17	REVISIONS PER TECH REVIEW
11/20/17	REVISIONS PER PLANNING
11/20/17	REVISIONS PER TECH REVIEW

OLD WIRE SERVICE AND RECREATIONAL FACILITIES
LARGE SCALE DEVELOPMENT
COVER SHEET
WASHINGTON COUNTY, ARKANSAS

Bates & Associates, Inc.
Civil Engineering & Surveying
7230 S. Pleasant Ridge Drive • Fayetteville, Arkansas 72704 • 479.442.9350 • Fax 479.521.9350
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PRMWN BY: T. Ford
ENGINEER: G. Bates
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STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 9810
CERTIFICATE OF AUTHORIZATION
BATES & ASSOCIATES, INC.
#1336



ADJACENT PROPERTY OWNERS

1) 001-15188-011
HALL, WILLARD TUDOR
FAVETTESVILLE, AR 72703-4725

2) 001-15188-010
2850 N. 3650' AVENUE
FAVETTESVILLE, AR 72703

3) 001-15188-009
4005 N. OLD WIRE RD
FAVETTESVILLE, AR 72703

4) 001-15188-008
3955 WHITE DR
FAVETTESVILLE, AR 72703

5) 001-15188-007
C/O PAUL, MICHAEL & CHRISTINA G
FAVETTESVILLE, AR 72703-4725

6) 001-15188-006
C/O PAUL, MICHAEL & CHRISTINA G
FAVETTESVILLE, AR 72703-4725

7) 001-15188-005
3955 WHITE DR
FAVETTESVILLE, AR 72703

8) 001-15188-004
3955 WHITE DR
FAVETTESVILLE, AR 72703

9) 001-15188-003
3955 WHITE DR
FAVETTESVILLE, AR 72703

10) 001-15188-002
3955 WHITE DR
FAVETTESVILLE, AR 72703

11) 001-15188-001
3955 WHITE DR
FAVETTESVILLE, AR 72703

12) 001-15188-000
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13) 001-15188-000
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27) 001-15188-000
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28) 001-15188-000
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FAVETTESVILLE, AR 72703

29) 001-15188-000
3955 WHITE DR
FAVETTESVILLE, AR 72703

30) 001-15188-000
3955 WHITE DR
FAVETTESVILLE, AR 72703

DATE: 06/02/17
REVISED: 07/07/17
REVISED: 07/25/17
REVISED: 07/31/17
REVISED: 08/15/17
REVISED: 08/25/17
REVISED: 11/02/17
REVISED: 11/20/17

CONCEPT PLAT SUBMITTAL
1ST SUBMITTAL
REVISED PER TECH REVIEW
REVISED PER TECH REVIEW
REVISED PER TECH REVIEW
REVISED PER TECH REVIEW
REVISED PER PLANNING
REVISED PER TECH REVIEW

REVISIONS

WASHINGTON COUNTY, ARKANSAS
OVERALL SITE PLAN
OLD WIRE SERVICE AND
RECREATIONAL FACILITIES

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ENGINEER: G. Bates
DRAWN BY: T. Ford

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
GEOFFREY H. BATES
No. 9810

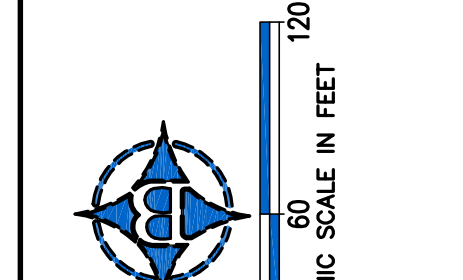
Arkansas
Bates & Associates, Inc.
CERTIFICATE OF AUTHORIZATION
#335

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Civil Engineering & Surveying

DRAWING NO
02

17-136 PROJECT NO

PROPOSED	EXISTING	LEGEND	DESCRIPTION
[Symbol]	[Symbol]	[Symbol]	ASPHALT (EXIST)
[Symbol]	[Symbol]	[Symbol]	CONCRETE (EXIST)
[Symbol]	[Symbol]	[Symbol]	BUILDING SETBACK LINE
[Symbol]	[Symbol]	[Symbol]	COLLAR
[Symbol]	[Symbol]	[Symbol]	CABLE TV (OVERHEAD)
[Symbol]	[Symbol]	[Symbol]	CENTRAL
[Symbol]	[Symbol]	[Symbol]	CONTOUR
[Symbol]	[Symbol]	[Symbol]	CURB & GUTTER
[Symbol]	[Symbol]	[Symbol]	ELECT. TRANSFORMER
[Symbol]	[Symbol]	[Symbol]	ELECT. COVERHEAD
[Symbol]	[Symbol]	[Symbol]	FIBER OPTIC CABLE
[Symbol]	[Symbol]	[Symbol]	FIRE HYDRANT ASSEMBLY
[Symbol]	[Symbol]	[Symbol]	FLOOR MAIN
[Symbol]	[Symbol]	[Symbol]	GAS MAIN
[Symbol]	[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	[Symbol]	GRAVEL SURFACE (EXIST)
[Symbol]	[Symbol]	[Symbol]	IRON PIN (5/8" RE-BAR)
[Symbol]	[Symbol]	[Symbol]	MANHOLE (CONCRETE)
[Symbol]	[Symbol]	[Symbol]	POLE
[Symbol]	[Symbol]	[Symbol]	POWER POLE (EXTERNAL)
[Symbol]	[Symbol]	[Symbol]	RETAINING WALL
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[Symbol]	[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	[Symbol]	SECTION LINE
[Symbol]	[Symbol]	[Symbol]	SOIL
[Symbol]	[Symbol]	[Symbol]	SILT FENCE
[Symbol]	[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	[Symbol]	STORM SEWER PIPE
[Symbol]	[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	[Symbol]	TELEPHONE (5/8" OVERHEAD)
[Symbol]	[Symbol]	[Symbol]	TELEPHONE (OVERHEAD)
[Symbol]	[Symbol]	[Symbol]	SEPTIC FIELD
[Symbol]	[Symbol]	[Symbol]	UTILITY TO BE REMOVED
[Symbol]	[Symbol]	[Symbol]	WATER MAIN PIPE
[Symbol]	[Symbol]	[Symbol]	WATER MAIN REDUCER
[Symbol]	[Symbol]	[Symbol]	WATER THROTTLE BLOCK
[Symbol]	[Symbol]	[Symbol]	SEPTIC TEST PIT



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WASHINGTON COUNTY, ARKANSAS
OLD WIRE SERVICE AND RECREATIONAL FACILITIES
SITE & UTILITY PLAN

DATE	REVISIONS
06/02/17	CONCEPT PLAT SUBMITTAL
07/07/17	1ST SUBMITTAL
07/25/17	REVISIONS PER TECH REVIEW
07/31/17	REVISIONS PER TECH REVIEW
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08/25/17	REVISIONS PER TECH REVIEW
08/29/17	REVISIONS PER PLANNING
11/20/17	REVISIONS PER TECH REVIEW
11/20/17	REVISIONS PER TECH REVIEW

REGISTERED PROFESSIONAL ENGINEER
H. BATES
 No. 9810
 CERTIFICATE OF AUTHORIZATION
 BATES & ASSOCIATES, INC.
 ENGINEER, G. Bates
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PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	ASPHALT (EDGE)
[Symbol]	[Symbol]	BUILDING (SHADOWN)
[Symbol]	[Symbol]	BUILDING SETBACK LINE
[Symbol]	[Symbol]	BUILDING (UNDERGROUND)
[Symbol]	[Symbol]	BUILDING (UNDERGROUND)
[Symbol]	[Symbol]	CABLE TV (OVERHEAD)
[Symbol]	[Symbol]	CENTERLINE
[Symbol]	[Symbol]	CONCRETE SURFACE
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	CURB & GUTTER
[Symbol]	[Symbol]	ELECT. TRANSFORMER
[Symbol]	[Symbol]	EASMENT
[Symbol]	[Symbol]	ELECTRICAL (OVERHEAD)
[Symbol]	[Symbol]	ELECTRICAL (UNDERGROUND)
[Symbol]	[Symbol]	FIRE HYDRANT ASSEMBLY
[Symbol]	[Symbol]	FIRE HYDRANT ASSEMBLY
[Symbol]	[Symbol]	FOUNDER
[Symbol]	[Symbol]	GAS MAIN
[Symbol]	[Symbol]	GAS METER (1/2" RE-BAR)
[Symbol]	[Symbol]	GRAVEL SURFACE
[Symbol]	[Symbol]	IRON PIN (1/2" RE-BAR)
[Symbol]	[Symbol]	IRON PIN (1/2" RE-BAR)
[Symbol]	[Symbol]	LIGHT
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[Symbol]	[Symbol]	POWER POLE
[Symbol]	[Symbol]	PROPOSED CURB
[Symbol]	[Symbol]	RETAINING WALL (EXTERNAL)
[Symbol]	[Symbol]	RETAINING WALL (INTERNAL)
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[Symbol]	[Symbol]	SANITARY SEWER SERVICE
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[Symbol]	[Symbol]	SKY FRAME
[Symbol]	[Symbol]	SKY FRAME
[Symbol]	[Symbol]	SEWER TEST PIT
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	STORM SEWER TIE
[Symbol]	[Symbol]	STORM SEWER TIE
[Symbol]	[Symbol]	TELEPHONE FEED/MANHOLE
[Symbol]	[Symbol]	TELEPHONE FEED/MANHOLE
[Symbol]	[Symbol]	TELEPHONE (OVERHEAD)
[Symbol]	[Symbol]	TELEPHONE (UNDERGROUND)
[Symbol]	[Symbol]	TREE/FREE TO BE REMOVED
[Symbol]	[Symbol]	UTILITY EASMENT
[Symbol]	[Symbol]	UTILITY EASMENT
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	WATER METER BLOCK
[Symbol]	[Symbol]	WATER METER BLOCK
[Symbol]	[Symbol]	SEWER TEST PIT

COUNTY NOTES:
 1. ALL UTILITIES PLACED BY CONTRACTOR MUST HAVE 6" OF COVER AT ALL TIMES UNLESS OTHERWISE SPECIFIED.
 2. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT EXPENSE OF CONTRACTOR.
 3. COUNTY ROAD DEPARTMENT WILL MAINTAIN DRAINAGE EASEMENTS WITHIN THE ROAD RIGHT-OF-WAY.
 4. ANY WORK DONE IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES A PERMIT FROM THE WASHINGTON COUNTY ROAD DEPARTMENT.
 5. ALL CURBETS WILL BE SIZED BY WASHINGTON COUNTY ROAD DEPARTMENT.
 6. EXTERIOR BOUNDARY CORNERS AND ONE-HALF-INCH BY EIGHTEEN-INCH STEEL PINS SHALL BE PLACED ON ALL LOT CORNERS.
 7. ALL UTILITIES SHALL BE PLACED WITHIN THE PLANNING BOARD'S APPROVED RIGHT-OF-WAY.
 8. APPROVAL MUST COME BEFORE THE PLANNING BOARD FOR SEPARATE APPROVAL.
 9. REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH THE ZONING ORDINANCE AND DOES NOT CONSTITUTE A GUARANTEE OF THE ENGINEER'S DESIGN OR RELEASE THE DEVELOPER OF ANY REQUIREMENTS, EAGERS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE COUNTY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THESE NOTES.
 10. ENGINEER/ARCHITECT MUST SIGN COMPACTION STATEMENT THAT DRIVING SURFACE WILL SUPPORT 75000 POUNDS.
 11. APPROVAL IS RESPONSIBLE FOR MAINTAINING A CLEAR LINE OF SIGHT BY TRIMMING VEGETATION AS NEEDED.

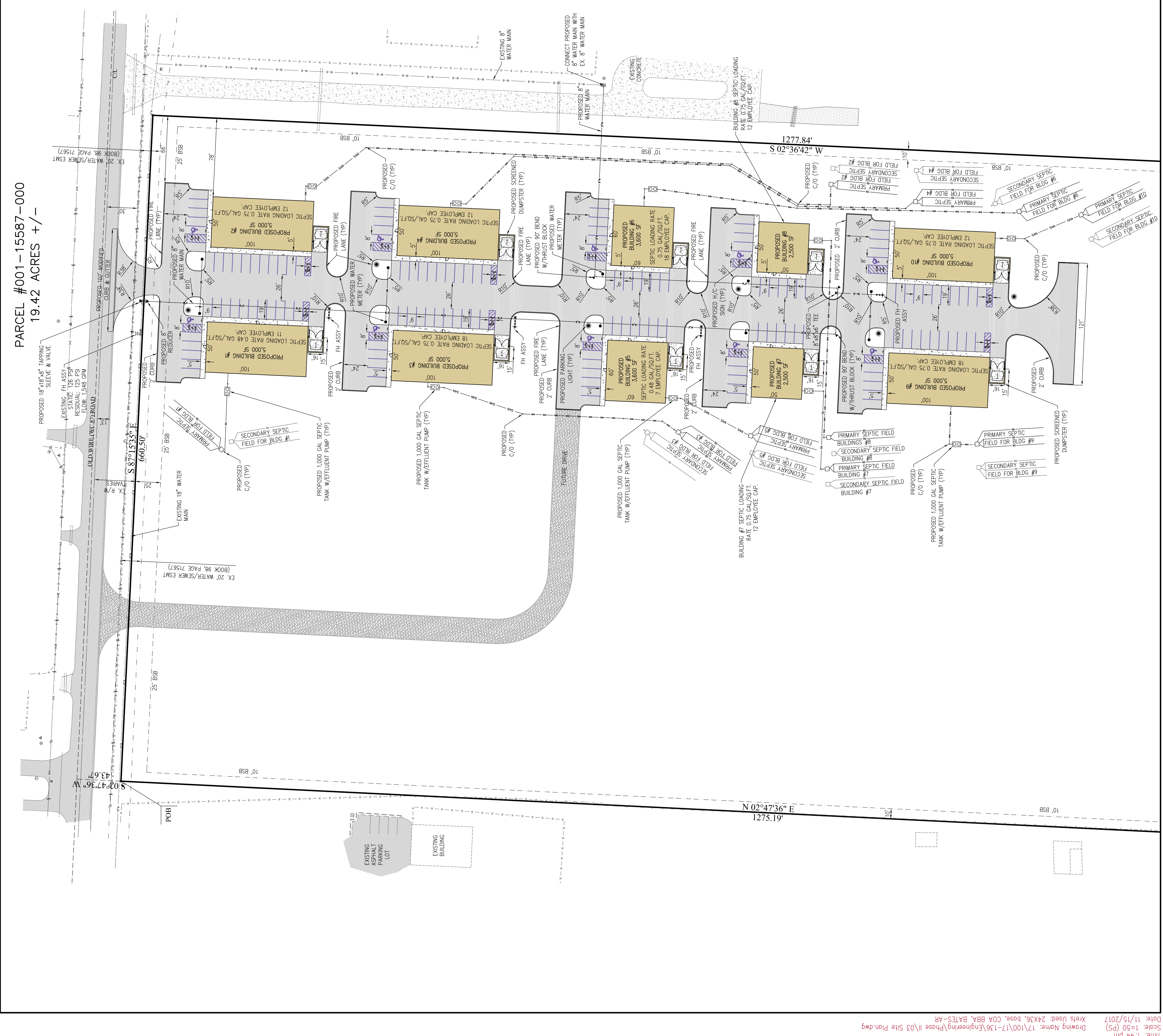
SITE DISTANCE NOTES:
 1. APPROVAL IS RESPONSIBLE FOR MAINTAINING A CLEAR LINE OF SIGHT BY TRIMMING VEGETATION AS NEEDED.

ADA NOTES:
 1. ALL PARKING SPACES MUST HAVE A MINIMUM OF 20' CLEAR IN ALL DIRECTIONS.
 2. CONNECTION BETWEEN BUILDING AND HANDICAPPED PARKING SPACES MUST BE ADA COMPLIANT.

FIRE MARSHAL COMMENTS:
 1. NO PARKING ALONG 20' WIDE DRIVES
 2. MINIMUM TURNING RADIUS ALONG FIRE LANE IS 30' FEET
 3. FIRE LANE ALONG THE DRIVE AND WITHIN PARKING AREA MUST BE MARKED (CAN BE SIGNAGE IF THE DRIVE AND LOTS ARE GRAVEL OR PAINT IF THE DRIVE AND LOTS ARE PAVED)
 4. ALL PARKING SPACES MUST BE COMPACTED TO SUPPORT 75,000 LBS IN ALL WEATHER CONDITIONS

SEPTIC NOTES:
 1. SEPTIC SYSTEM MUST RECEIVE APPROVAL FROM THE HEALTH DEPARTMENT. IT MUST BE INSTALLED. THE SYSTEM SHALL BE INSPECTED BY THE HEALTH DEPARTMENT PRIOR TO OCCUPATION OF PROPOSED BUILDING.
 2. PROPOSED BUILDING, ON ANY PORTION OF THE SEPTIC SYSTEM INCLUDING THE ALTERNATE AREA, THE ALTERNATE AREA MUST REMAIN UNDISTURBED (NO OVERFLOW PARKING).
 3. THE SEPTIC SYSTEM (PRIMARY AND ALTERNATE AREA) MUST BE MAINTAINED AND NOT REPAIRED OR OVERFLOWING TO PREVENT ANYONE FROM PARKING OR DRIVING IN THIS AREA.

CALL BEFORE YOU DIG! ARKANSAS ONE CALL 855-838-0811



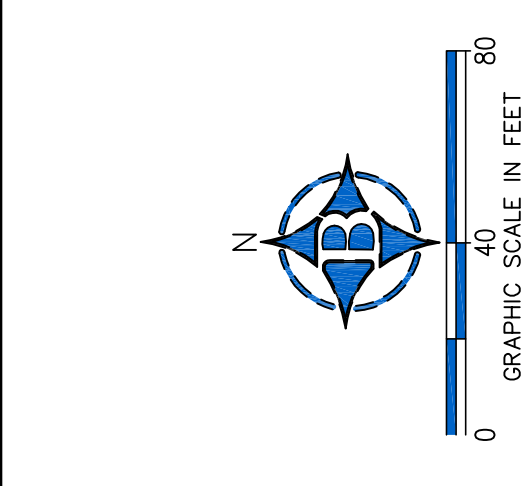
PARCEL #001-15587-000
 19.42 ACRES +/-

- CONSTRUCTION NOTES:**
1. COUNTY STAMPED PLANS MUST BE ON-SITE AT ALL TIMES DURING CONSTRUCTION.
 2. ALL AREAS UNDER BUILDINGS AND PAVED AREAS SHALL BE STRIPPED OF TOPSOIL. THE RESULTING SUB GRADE SHALL BE THOROUGHLY COMPACTED. ANY SOFT OR UNSUITABLE MATERIAL SHALL BE STABILIZED OR REMOVED AND REPLACED WITH SUITABLE MATERIAL.
 3. FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER. ALL FILL SHALL BE MADE IN PLACE UNTIL 80% GRASS COVERAGE IS OBTAINED. TOPSOIL SHALL BE RECOMPACTED TO 85% SLITS NOT EXCEEDING 8" THICKNESS WITH EACH LIFT COMPACTED TO 95%.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE COUNTY GRADING REGULATIONS. COUNTY GRADING REQUIREMENTS SHALL BE PROVIDED AS REQUIRED TO MEET THESE REGULATIONS.
 5. DUST DURING CONSTRUCTION SHALL BE WETTED TO PREVENT EXCESSIVE DUST.
 6. ALL WAD/ORT LEFT ON PUBLIC STREETS OR ADJACENT PROPERTIES AS A RESULT OF THIS CONSTRUCTION SHALL BE SHOVELLED OR SWEEP AWAY UNTIL IT IS CLEAN.
 7. AT THIS TIME, NO STORMWATER PERMITS REQUIRED BY WASHINGTON COUNTY. HOWEVER, THE APPLICANT MUST COMPLY WITH ALL RULES AND REGULATIONS OF THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ).
 8. NORTH AND WEST PROPERTY.
 9. MAXIMUM GRADE OF DRIVE NOT TO EXCEED 10%.

- SEMENTAL & EROSION CONTROL NOTES:**
1. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM A.D.E.Q. AND WASHINGTON COUNTY REGARDING RUNOFF, EROSION CONTROL, DRAINAGE REQUIREMENTS.
 2. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED PER ORDINANCE & IN ACCORDANCE WITH WASHINGTON COUNTY'S DRAINAGE REQUIREMENTS.
 3. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND OCCASIONALLY REPLACED THROUGHOUT THE CONSTRUCTION PERIOD.
 4. ALL EROSION & SEDIMENT CONTROL DEVICES SHOWN SHALL BE INSTALLED BEFORE CONSTRUCTION BEGINS. THOSE ITEMS SHALL REMAIN IN PLACE UNTIL 80% GRASS COVERAGE IS OBTAINED.
 5. WATER AND PUBLIC INFRASTRUCTURE DAMAGE OR DISTURBED BY UNDERGROUND PRIVATE FRANCHISED UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RE-INSTALLED TO BE SECOND TO NONE.
 6. CONSTRUCT MUD ABATEMENT ENTRANCE WHERE PROPOSED STREETS.
 7. ENTER EXISTING PUBLIC STREETS, ENTRANCE TO BE 10' LONG X 6" DEEP.
 8. COUNTY ROAD DEPARTMENT WILL ONLY MAINTAIN DRAINAGE BASEMENTS IN THE COUNTY ROAD R.O.W.

- REVEGETATION NOTES:**
1. PERMANENT IMPROVEMENTS, PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURBS AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED CONCURRENTLY TO REMOVING VEGETATIVE COVER FROM THE AREA.
 2. SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES, AT LEAST 50% OF TOPSOIL OR OTHER SOILS TO BE STOCKPILED FOR MORE THAN 30 DAYS. A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
 3. EXISTING VEGETATION SHALL BE TAKEN TO CONSERVE AND PROTECT EXISTING VEGETATION.
 4. ALL VEGETATION SHALL BE RE-PLANTED OR REPLACED WITH EQUIVALENT SPECIES (SEEDMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED) UNLESS OTHERWISE ALLOWED BY THE COUNTY ROAD DEPARTMENT.
 5. A TOPSOIL A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REQUIRED TO BE EITHER EXISTING OR INSTALLED IN AREAS TO BE REVEGETATED. ANY APPLICATION OF TOPSOIL AND SEEDING UNDER THE IRP LINE OF A TREE SHOULD BE MINIMIZED TO 3 INCHES.
 6. ZERO TO 10% GRADES, RE-VEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING. SOD SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF IN NO MORE THAN TWO GROWING SEASONS.
 7. 10% TO 4% GRADES, RE-VEGETATION SHALL BE A MINIMUM OF HYDRO-SEEDING WITH MULCH AND FERTILIZER, SOD, OR SEEDING.
 8. 4% TO 3.1% GRADES, THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDED WITH MULCH AND FERTILIZER, OR STAKED 300' OR GROUNDCOVER. SOD PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE IN NO MORE THAN TWO GROWING SEASONS.

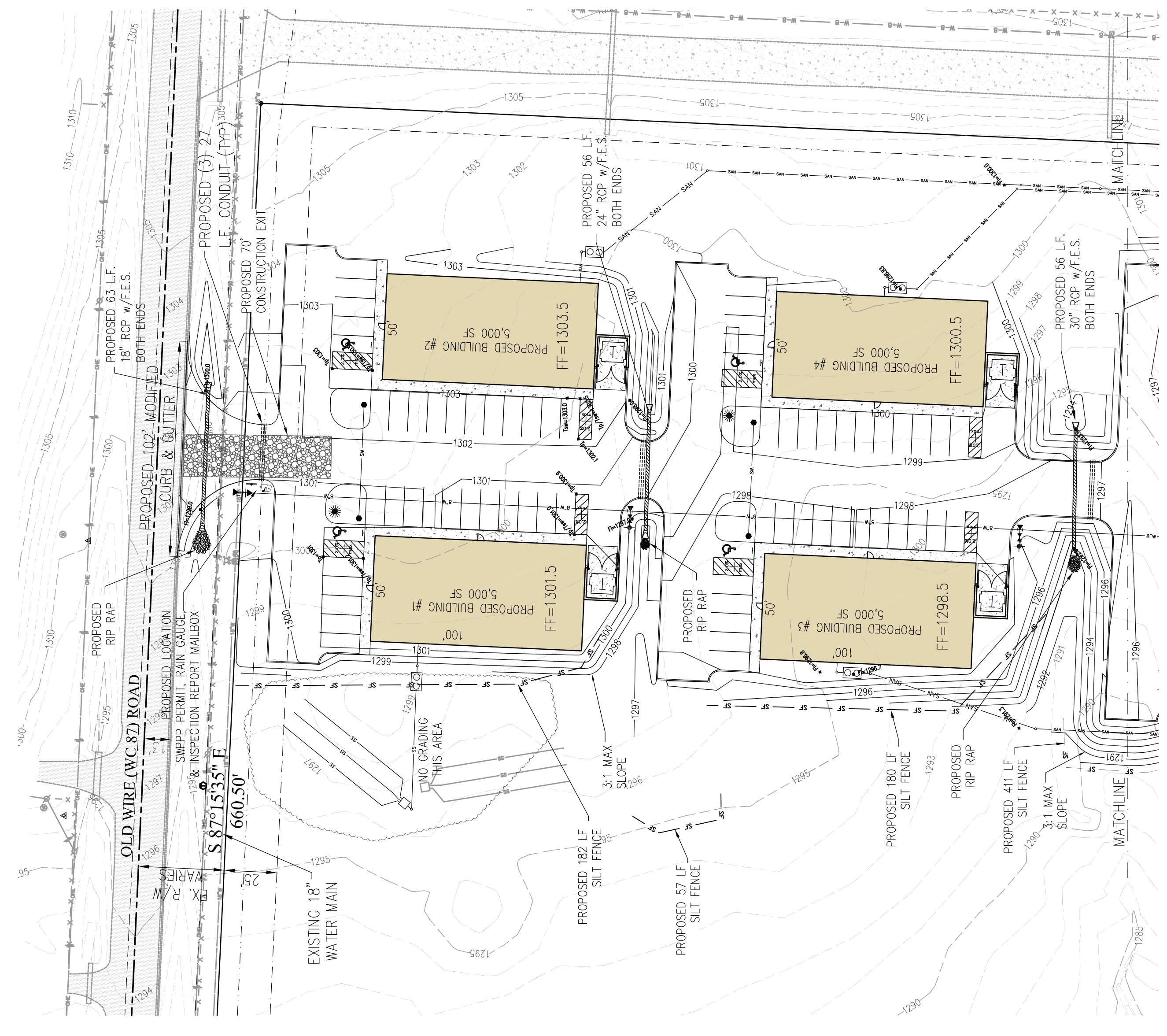
- ADA NOTES:**
1. HANDICAP SPACES MUST HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS.
 2. CONNECTION BETWEEN BUILDING AND HANDICAPPED PARKING SPACES MUST BE ADA COMPLIANT.



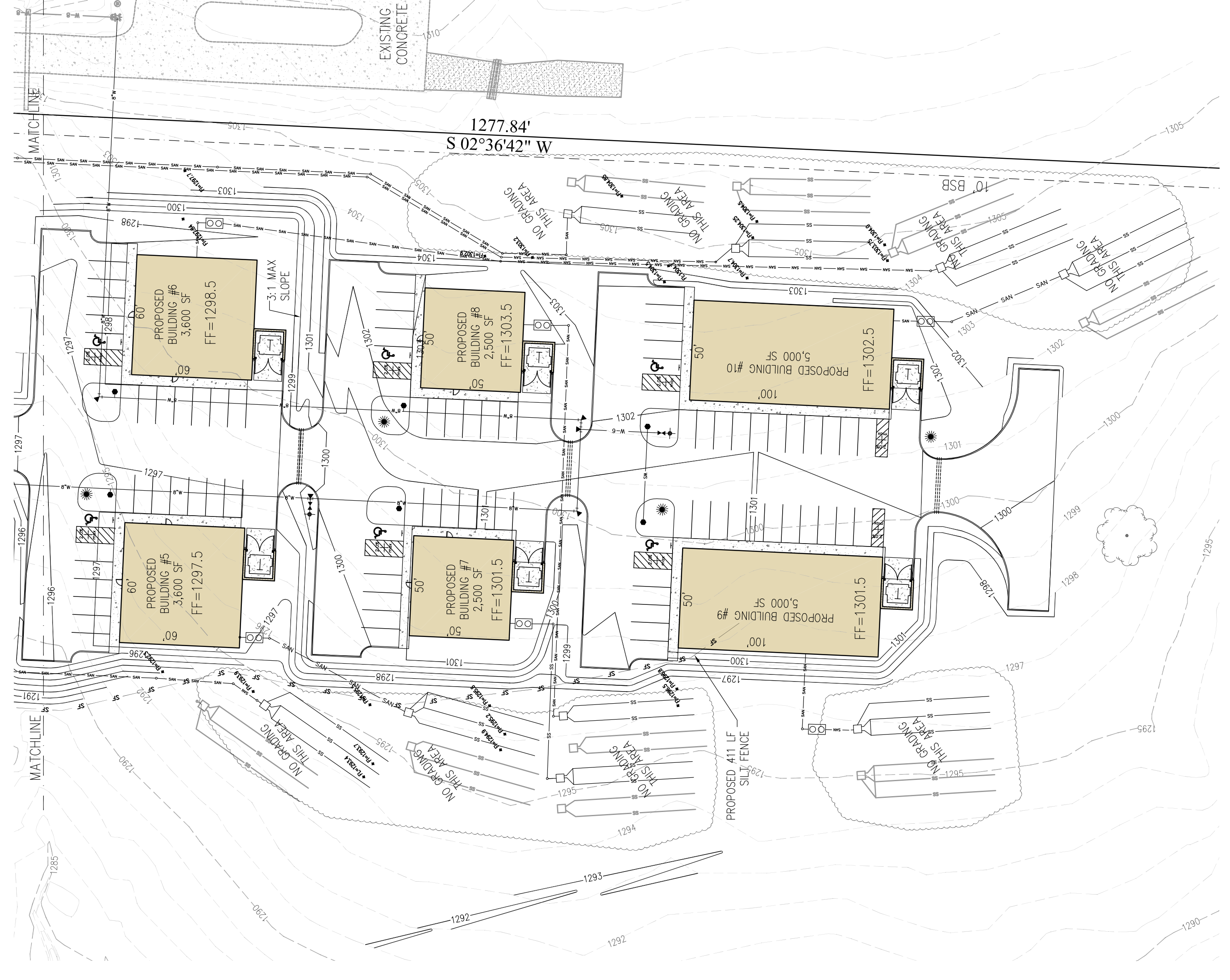
ENGINEER: G. Bates
 REG. NO. 9810
 STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING & SURVEYING, INC.
 7230 S. Pleasant Ridge Drive - Fayetteville, Arkansas 72704 - 479.442.9350 - Fax 479.521.9350

DATE	REVISIONS
06/02/17	CONCEPT PLAT SUBMITTAL
07/07/17	REVISIONS PER TECH REVIEW
07/25/17	REVISIONS PER TECH REVIEW
08/15/17	REVISIONS PER TECH REVIEW
08/25/17	REVISIONS PER TECH REVIEW
11/02/17	REVISIONS PER PLANNING
11/20/17	REVISIONS PER TECH REVIEW

NORTH PART



SOUTH PART



OLD WIRE SERVICE AND RECREATIONAL FACILITIES NORTH & SOUTH GRADING, DRAINAGE & EROSION CONTROL PLAN WASHINGTON COUNTY, ARKANSAS

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 CIVIL ENGINEERING & SURVEYING
 7230 S. Pleasant Ridge Drive - Fayetteville, Arkansas 72704 - 479.442.9350 - Fax 479.521.9350

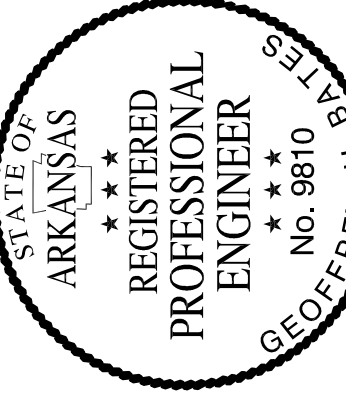
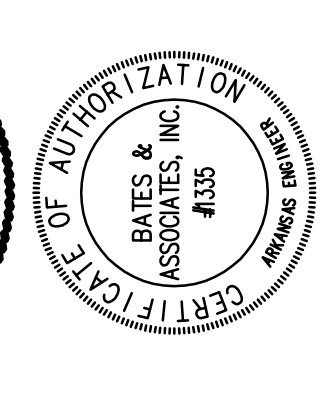


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Civil Engineering & Surveying
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OLD WIRE SERVICE AND
RECREATIONAL FACILITIES
& EROSION CONTROL PLAN
WASHINGTON COUNTY, ARKANSAS

DATE	REVISIONS
06/02/17	CONCEPT PLAT SUBMITTAL
07/25/17	REVISIONS PER TECH REVIEW
07/31/17	REVISIONS PER TECH REVIEW
08/15/17	REVISIONS PER TECH REVIEW
08/25/17	REVISIONS PER TECH REVIEW
11/02/17	REVISIONS PER PLANNING
11/20/17	REVISIONS PER TECH REVIEW

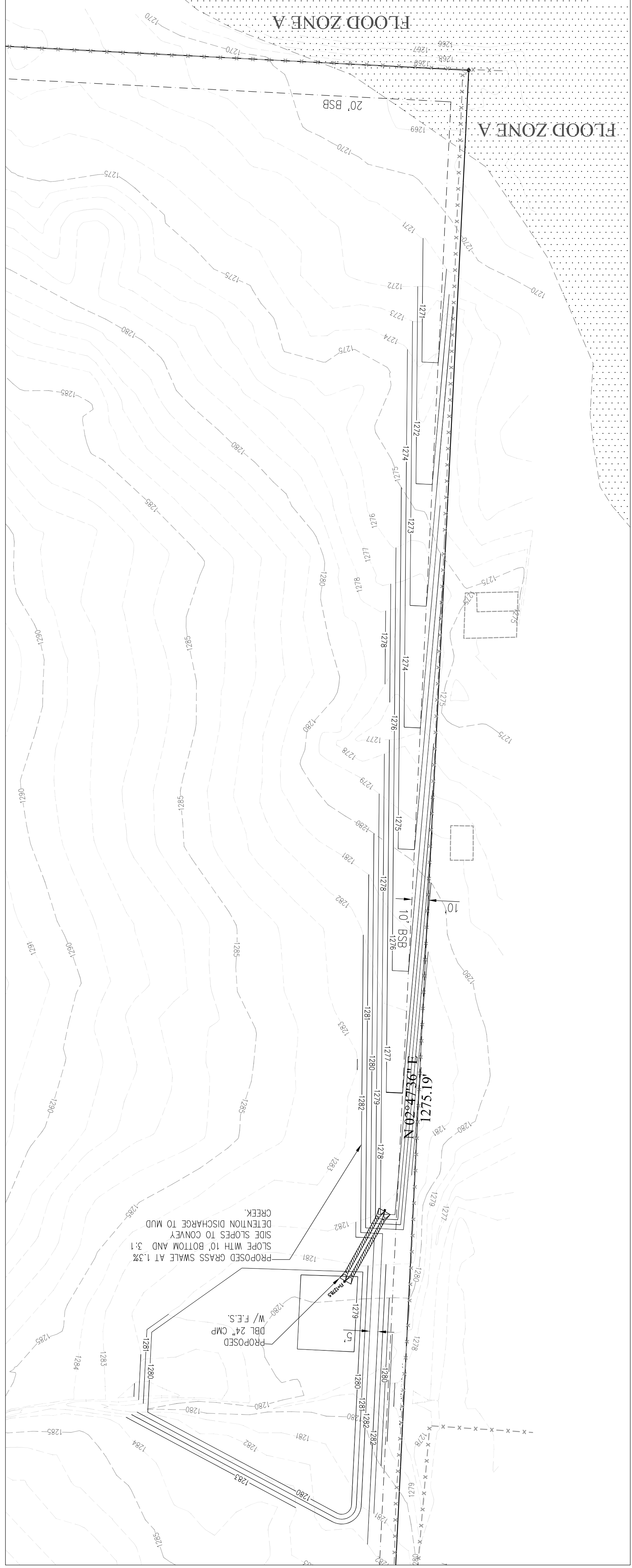
ENGINEER: G. BATES
DRAWN BY: J. FORD

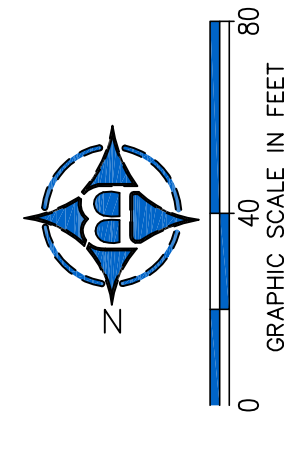
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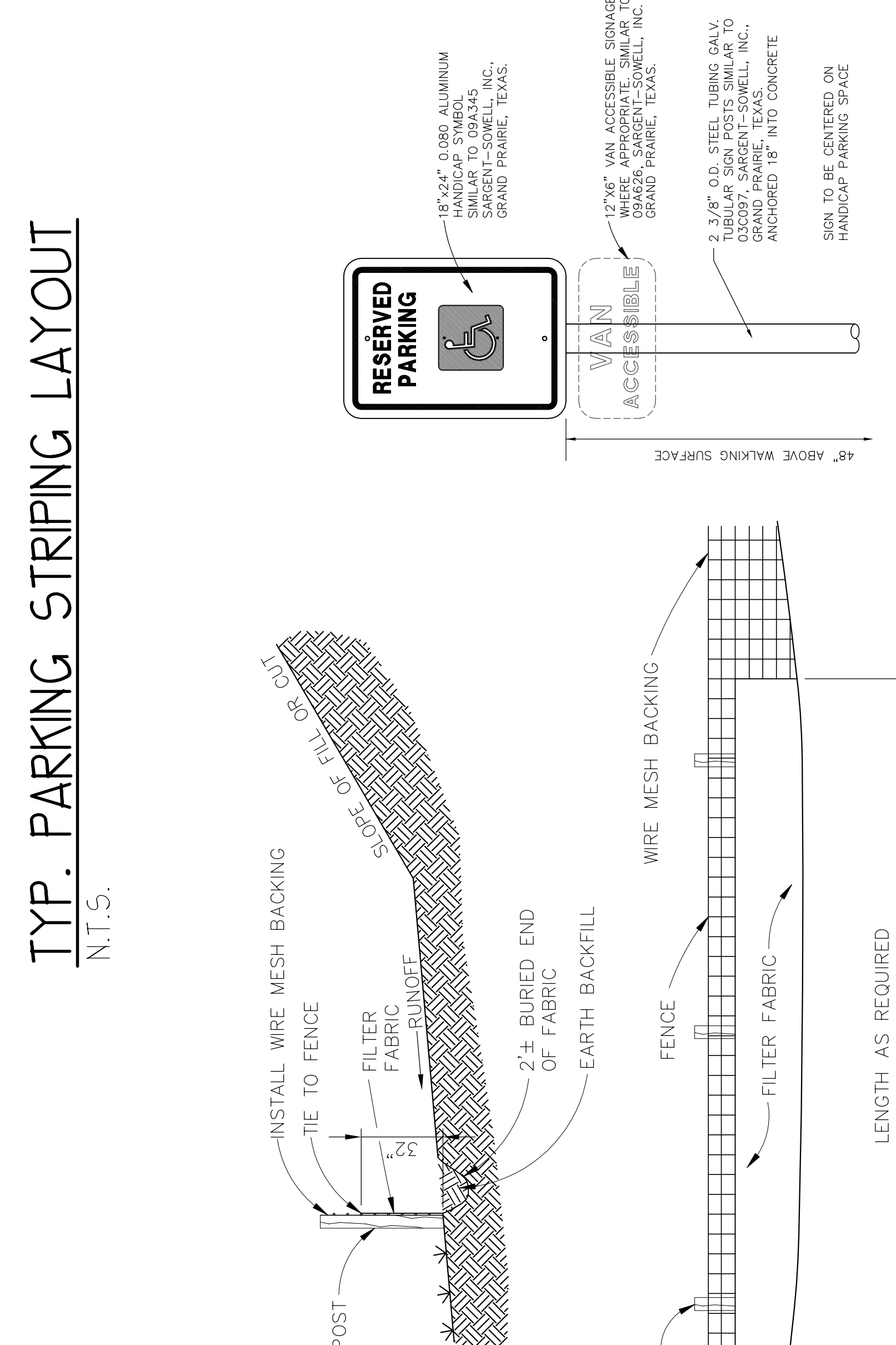
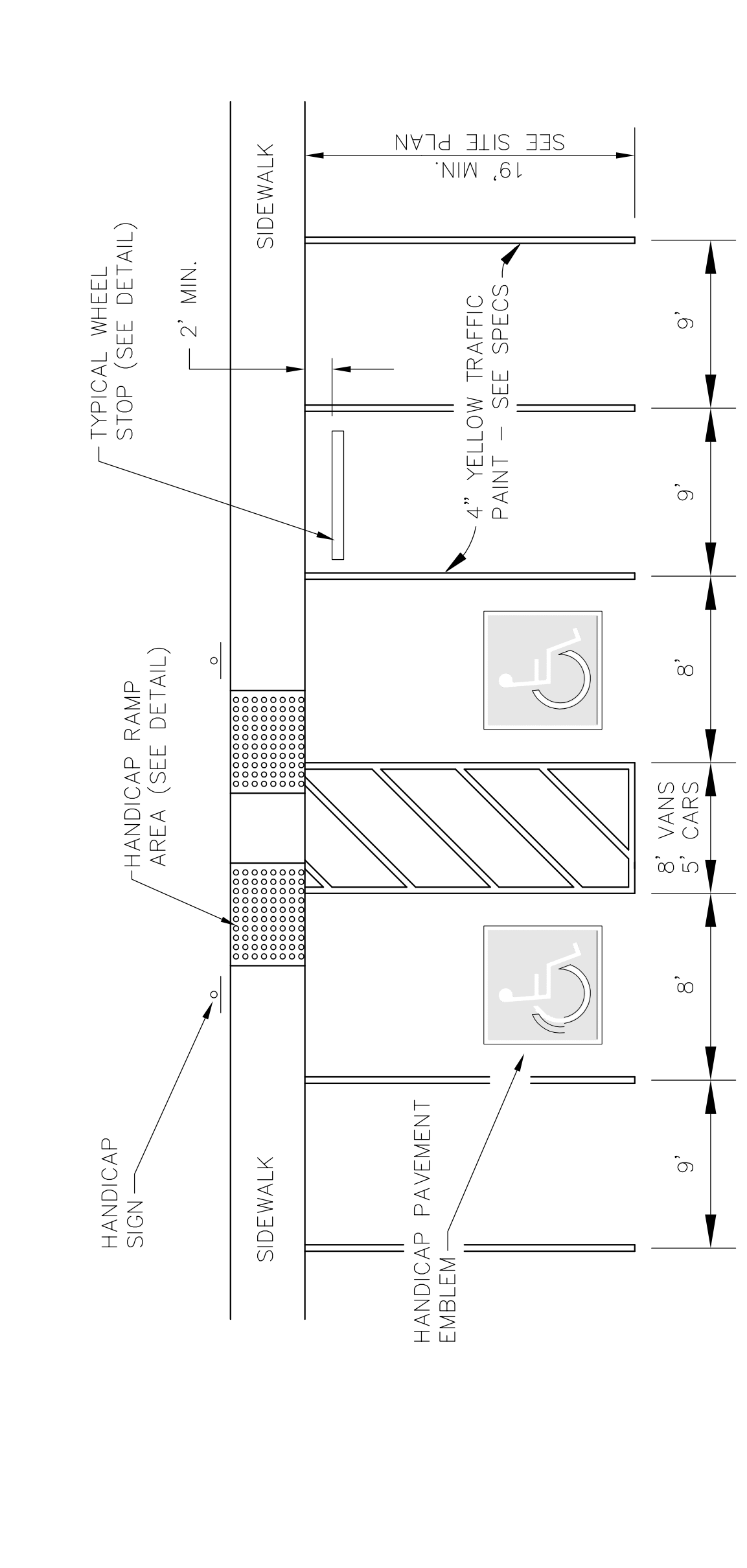
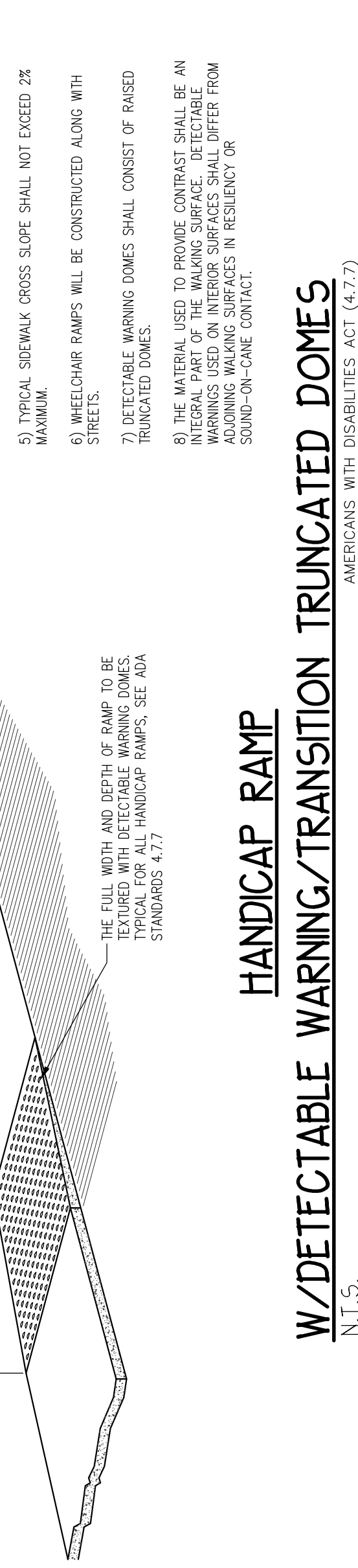
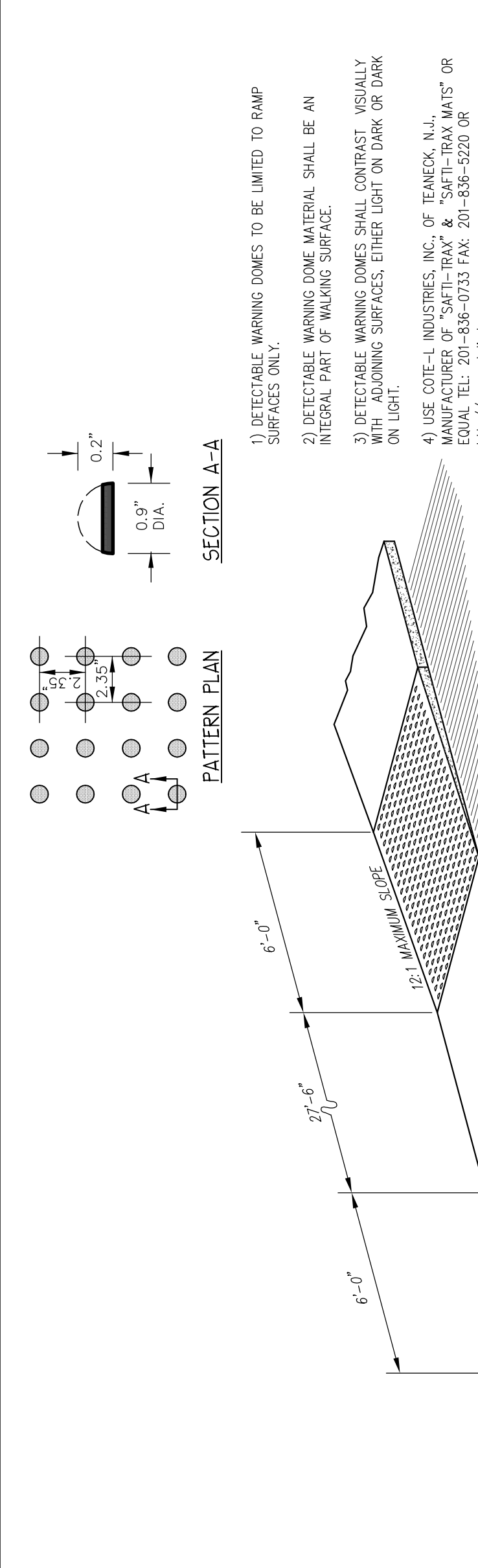
PROPOSED	EXISTING	LEGEND	DESCRIPTION
			ASPHALT EDGE
			ASPHALT SURFACE
			BUILDING FOOTPRINT
			BUILDING SETBACK LINE
			EASEMENT
			FENCE (WIRE/WOOD/CHAIN LINK)
			ELECTRICAL (UNDERGROUND)
			CABLE TV (UNDERGROUND)
			CENTERLINE (CONCRETE)
			CONCRETE SURFACE
			CONTOUR
			CURB & GUTTER
			ELECTRICAL (OVERHEAD)
			ELECT. TRANSFORMER
			EASEMENT
			FIRE HYDRANT ASSEMBLY
			FLOOD ZONE
			GAS METER
			GAS MAIN
			MONUMENT (CONCRETE)
			LIGHT
			MONUMENT (CONCRETE)
			POWER POLE
			PROPERTY LINE (EXTERNAL)
			SANITARY SEWER PIPE
			SANITARY SEWER MANHOLE
			SANITARY SEWER SERVICE
			SECTION LINE
			SIGN
			SPOT ELEVATION
			STORM SEWER PIPE
			STORM SEWER MANHOLE
			STORM SEWER SERVICE
			TELEPHONE (UNDERGROUND)
			TELEPHONE (OVERHEAD)
			TREE/POLE TO BE REMOVED
			UTILITY EASEMENT
			WATER MAIN PIPE
			WATER METER
			WATER THROAT BLOCK
			WATER MAIN REDUCER
			SPOT ELEVATION



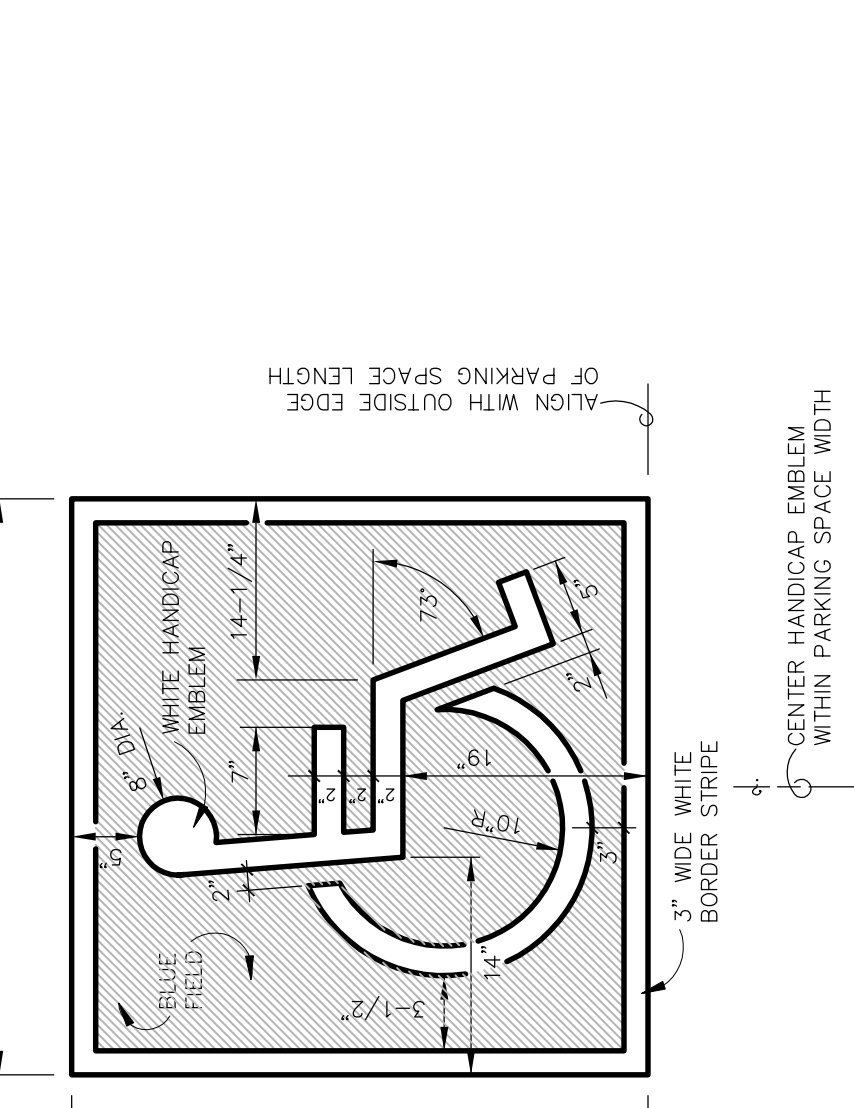
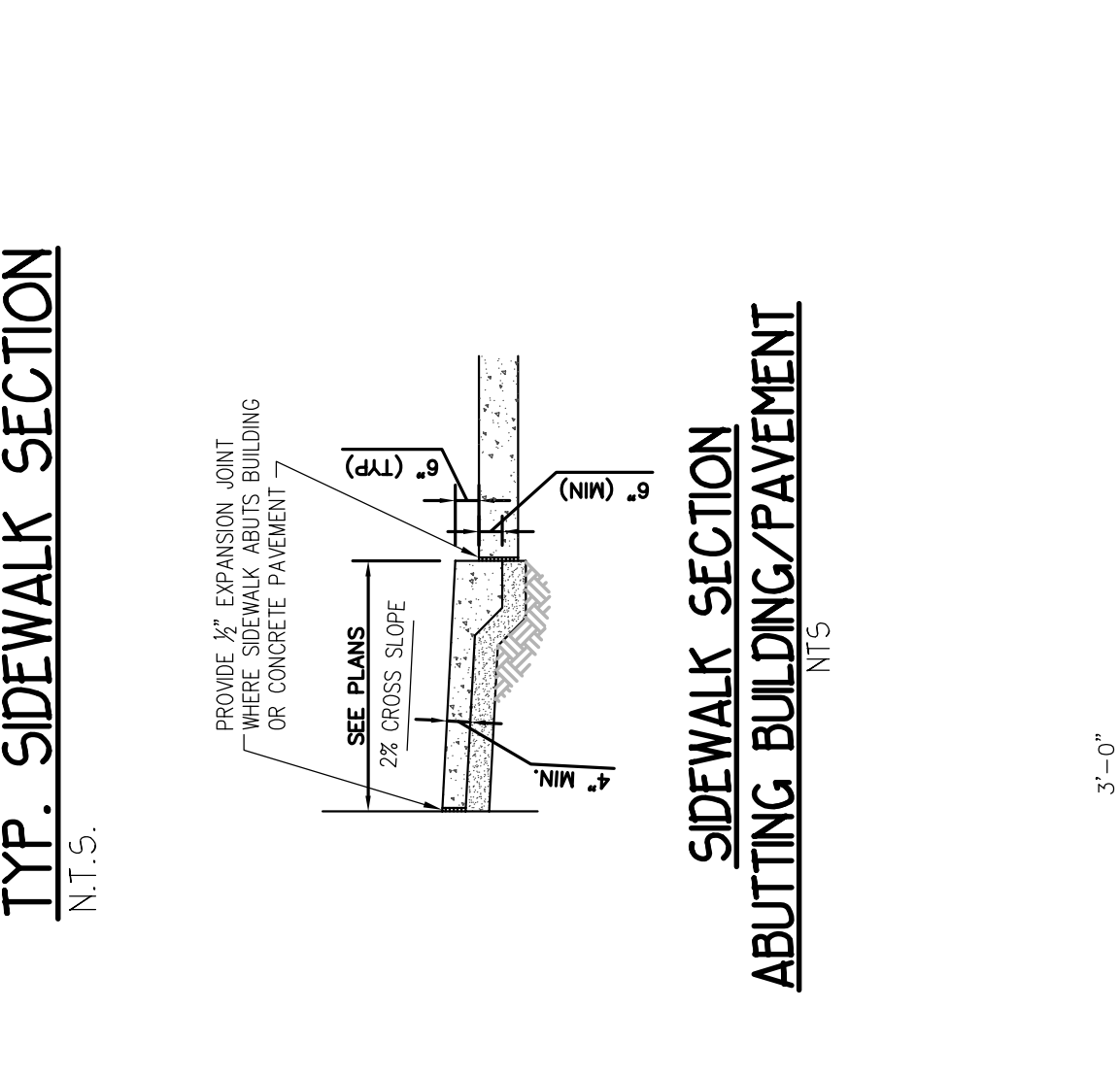
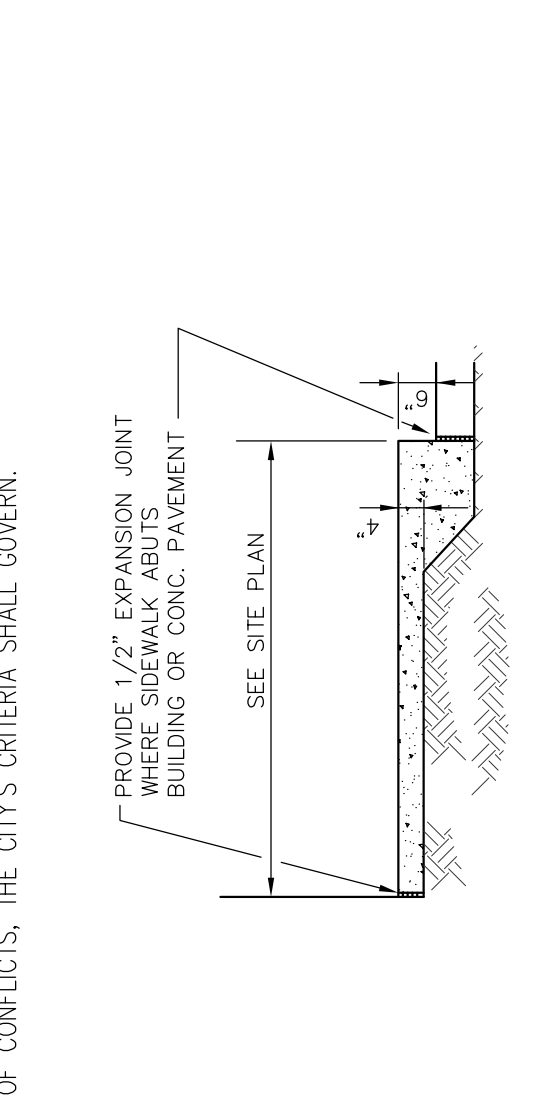
WEST PART



DATE	REVISIONS
06/02/17	CONCEPT PLAT SUBMITTAL
07/07/17	1ST SUBMITTAL
07/25/17	2ND SUBMITTAL
08/01/17	3RD SUBMITTAL
08/15/17	4TH SUBMITTAL
08/22/17	5TH SUBMITTAL
11/02/17	5TH SUBMITTAL

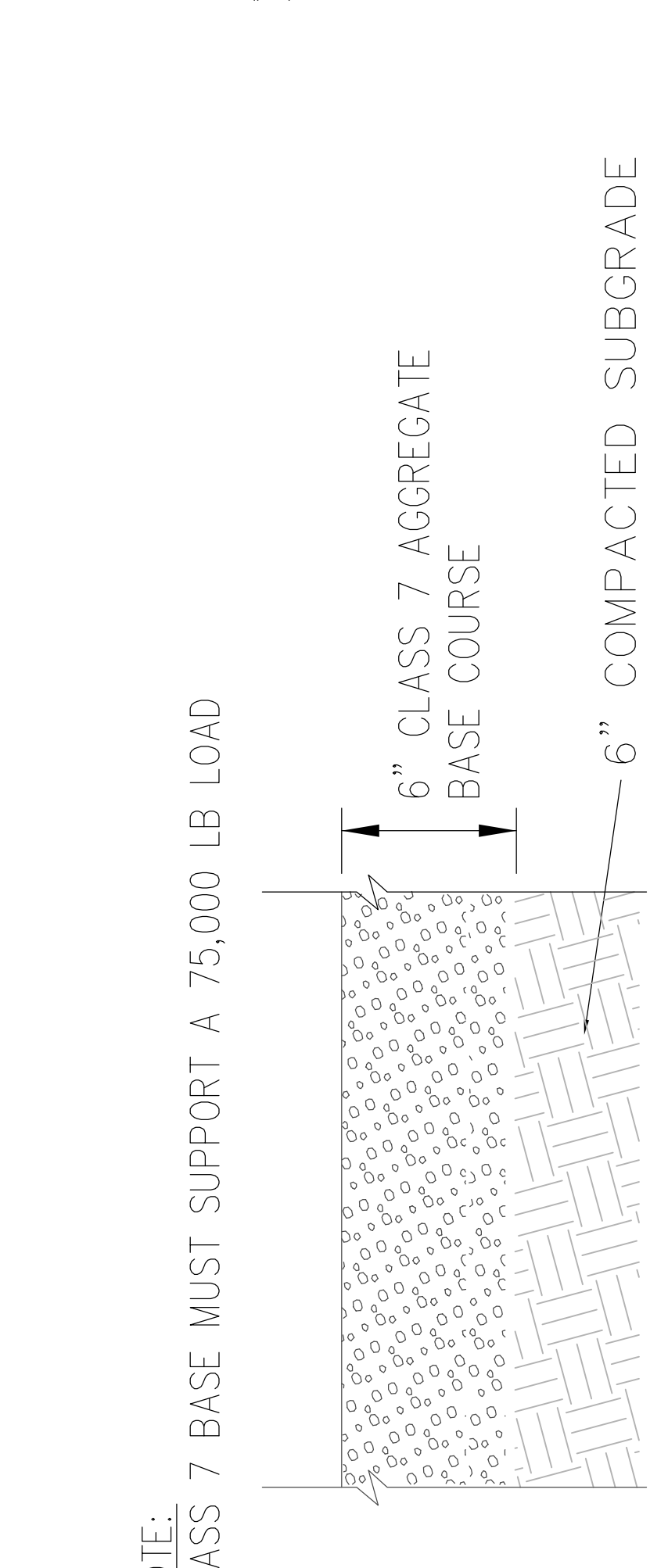
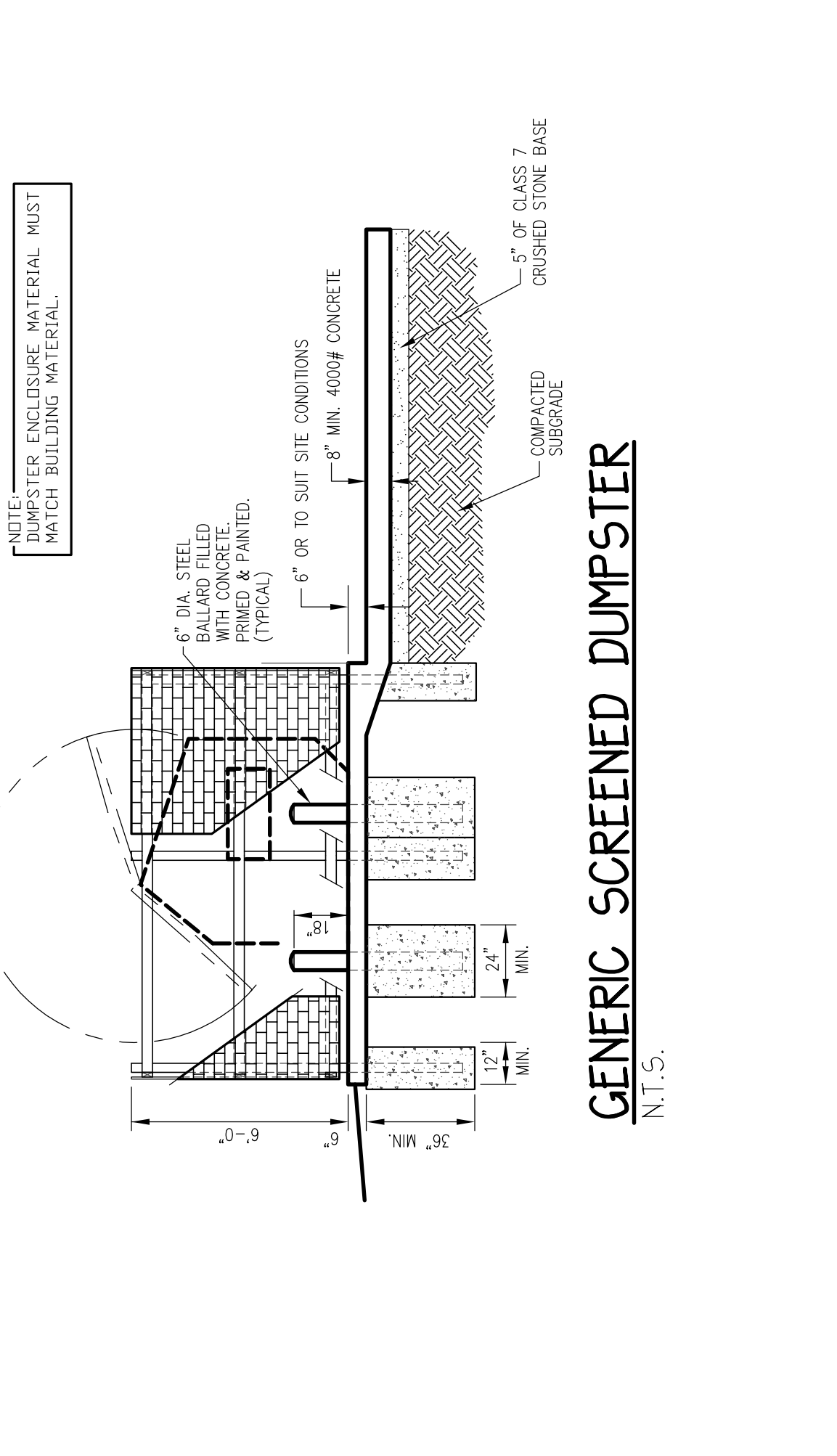
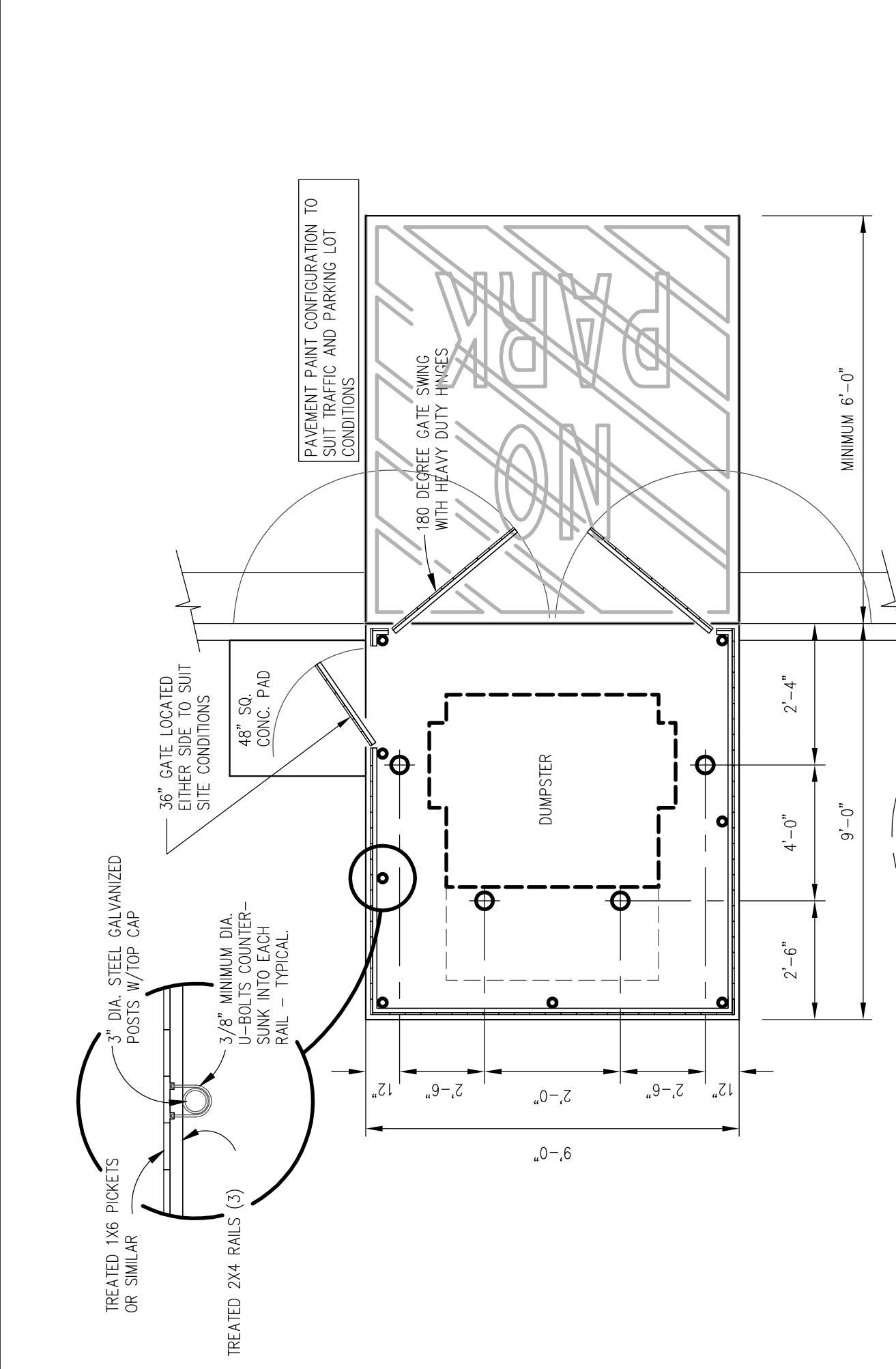


ALL SIDEWALK SHALL BE CONSTRUCTED OF PORTLAND CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 P.S.I. WHEN TESTED. ALL CONCRETE SHALL BE CURED IN AN AIR ENTRAINMENT MIX WHICH PRODUCES FIVE PERCENT PLUS OR MINUS TWO PERCENT AIR ENTRAINMENT IN THE CONCRETE.
 EXPANSION JOINTS SHALL BE PROVIDED AT 25 FOOT INTERVALS, AT ALL STATIONARY STRUCTURES SUCH AS DROP INLETS, AND AT CURB RETURNS. JOINT MATERIAL SHALL HAVE A THICKNESS OF ONE-HALF INCH AND CONFORM TO ASTM M 213 STANDARDS.
 SIDEWALKS MUST HAVE CONTRACTION JOINTS SAWED EVERY 5 FEET ON CENTER, AND SHALL BE SAWED TO A DEPTH OF 1/4" WITH A WIDTH OF 1/8". MATERIAL USED TO SEAL JOINTS SHALL BE AS SPECIFIED IN SECTION 501 AHTD STANDARD SPECIFICATIONS OR AS APPROVED BY THE ENGINEER. (MINSEAL 50 OR EQUAL).
 ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.

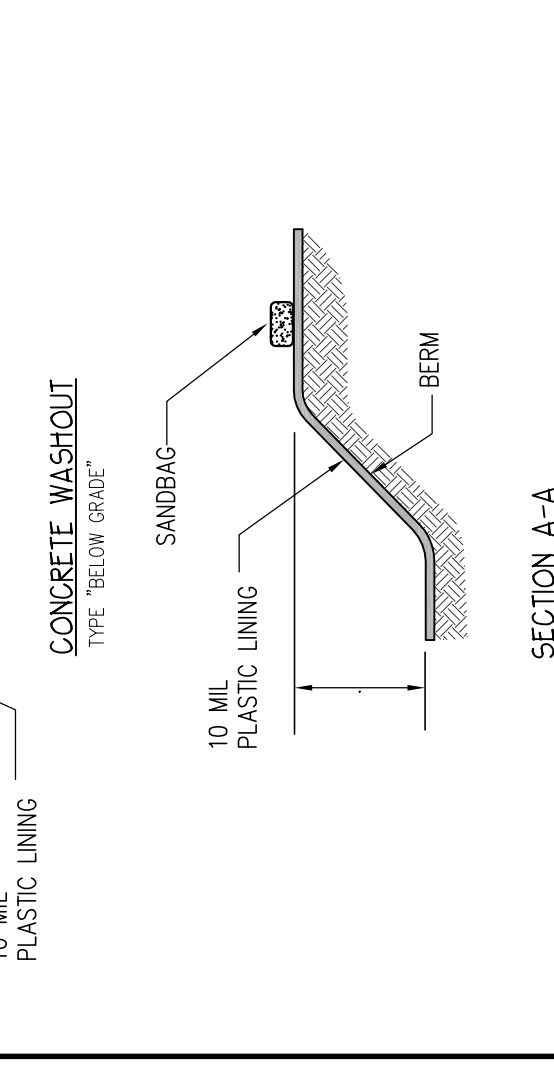
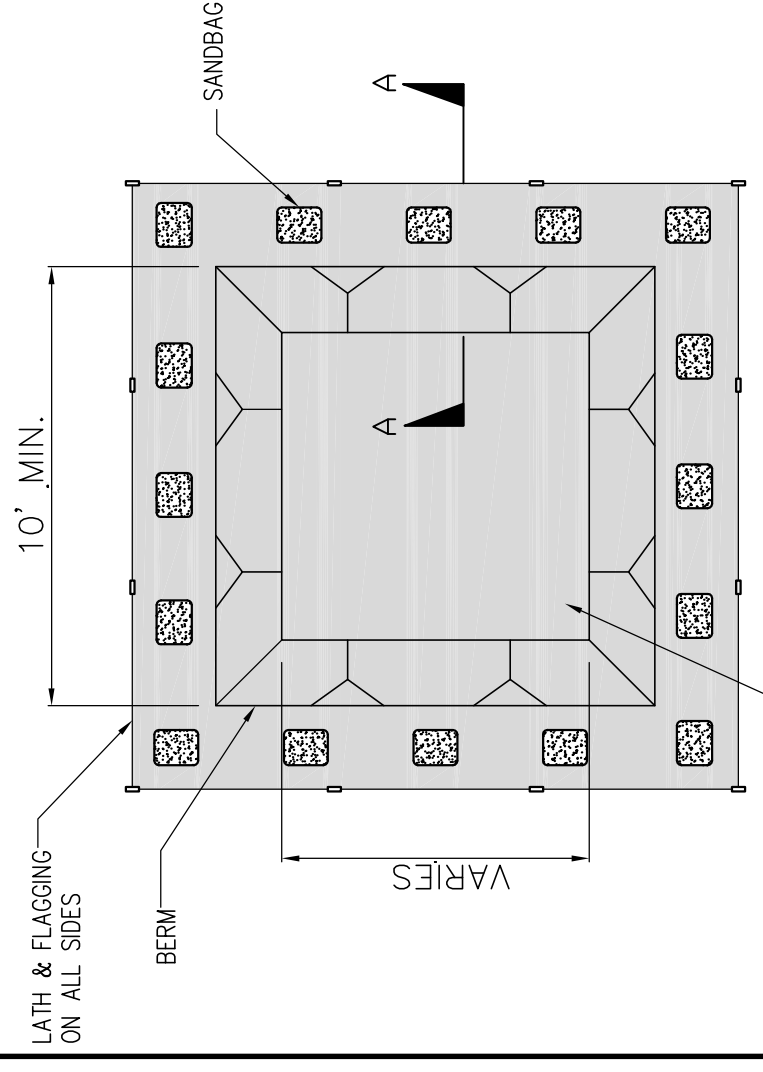


TOTAL NUMBER OF SPACES PROVIDED (PER LOT)	TOTAL MINIMUM PARKING SPACES (60' & 96' AISLES)	VAN ACCESSIBLE SPACES WITH MIN. 96' WIDE ACCESS AISLE	VAN ACCESSIBLE SPACES PROVIDED (PER LOT)
1 TO 25	1	1	1
26 TO 50	2	1	1
51 TO 75	3	1	1
76 TO 100	4	1	1
101 TO 150	5	1	1
151 TO 200	6	1	1
201 TO 300	7	1	1
301 TO 400	8	1	1
401 TO 500	9	1	1
501 TO 1000	2% OF TOTAL PARKING PROVIDED	1/8 OF COLUMN A*	1/8 OF COLUMN A*
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1/8 OF COLUMN A*	1/8 OF COLUMN A*

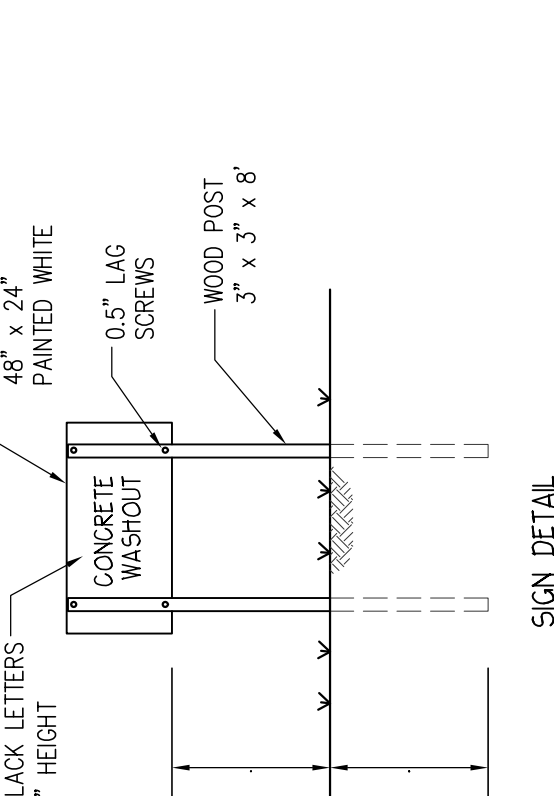
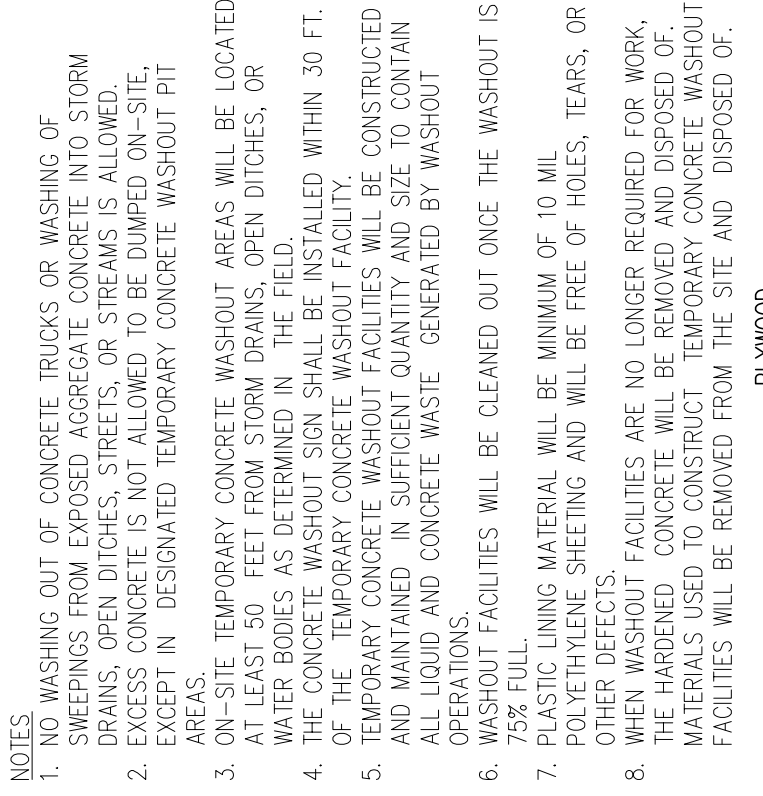
* ONE OUT OF EVERY 8 ACCESSIBLE SPACES



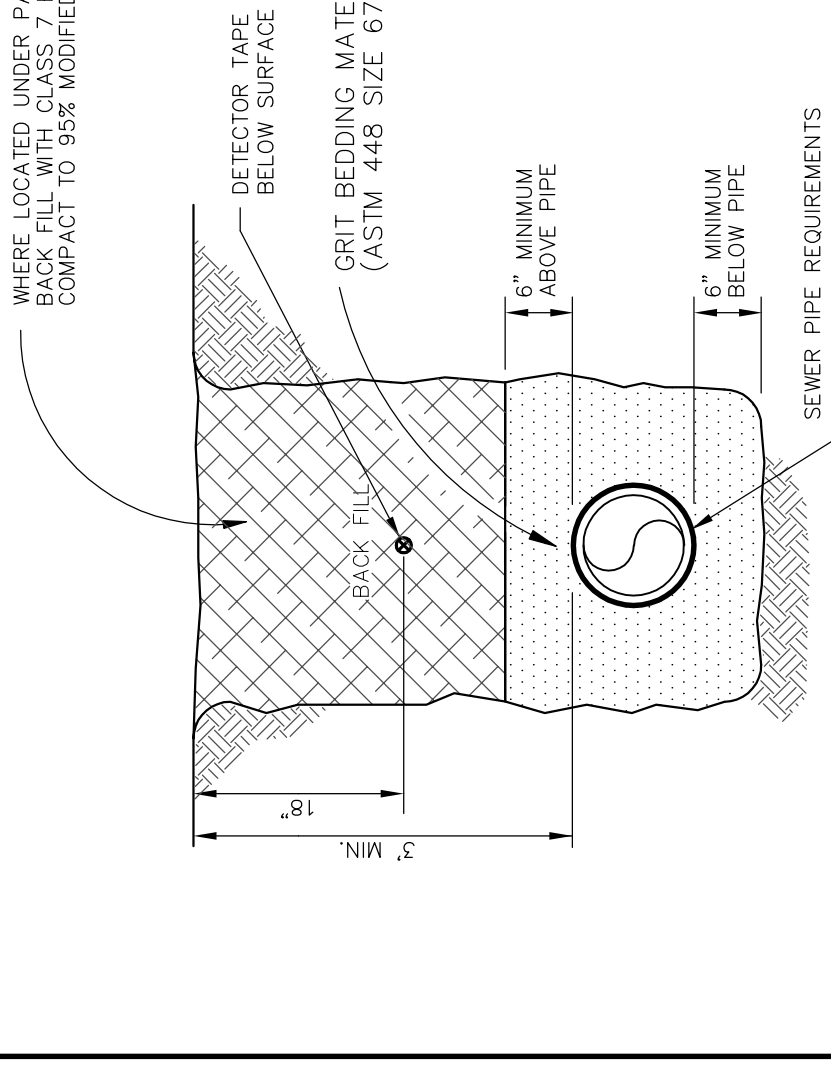
NOTE: CLASS 7 BASE MUST SUPPORT A 75,000 LB LOAD



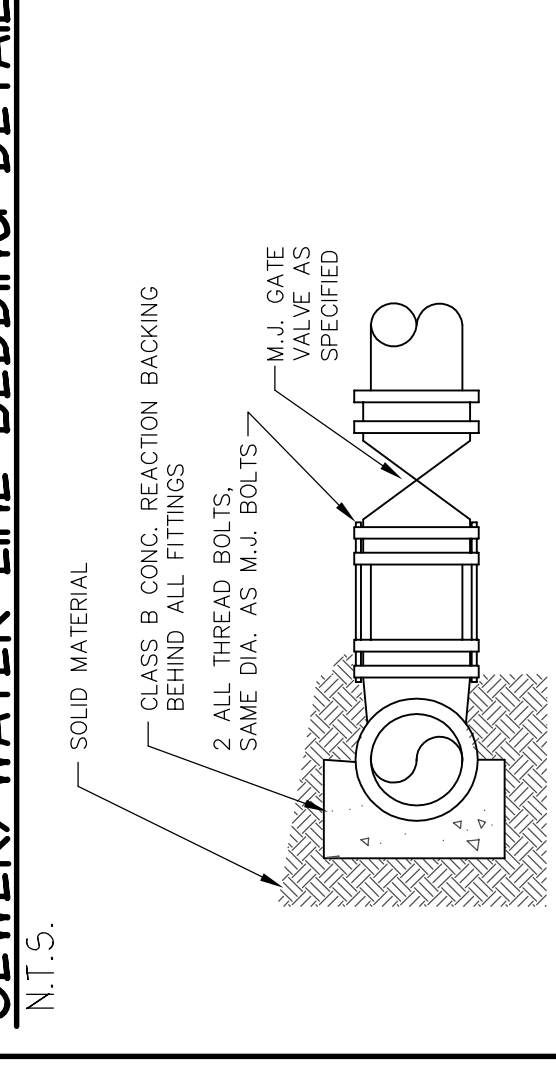
CONCRETE WASHOUT MANAGEMENT DETAIL
N.T.S.



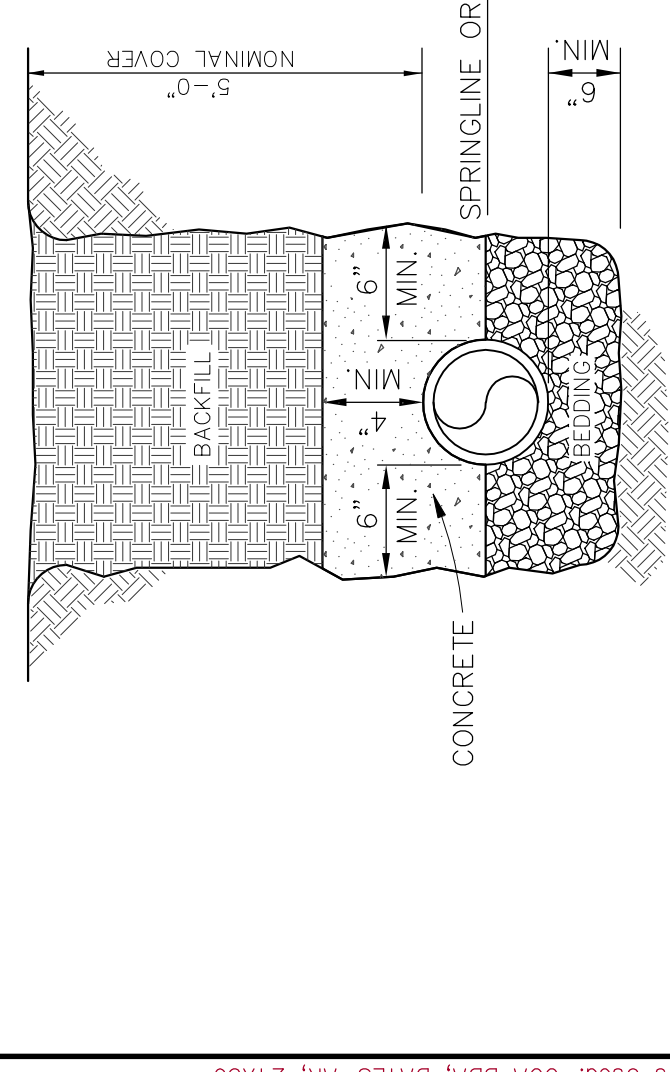
CONCRETE WASTE MANAGEMENT DETAIL
N.T.S.



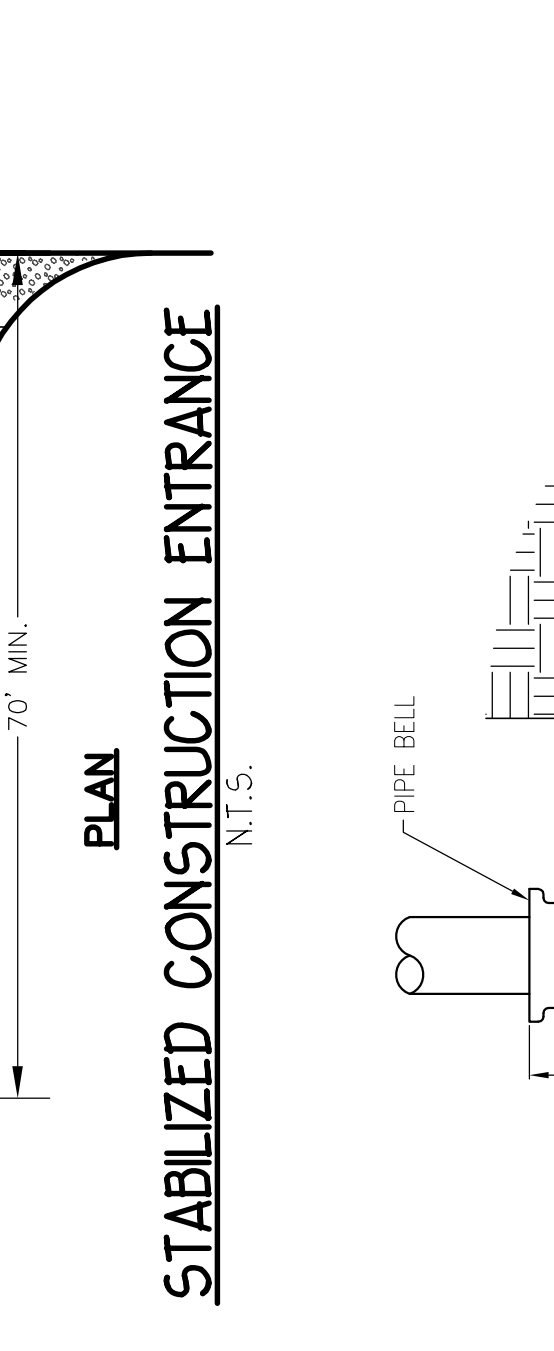
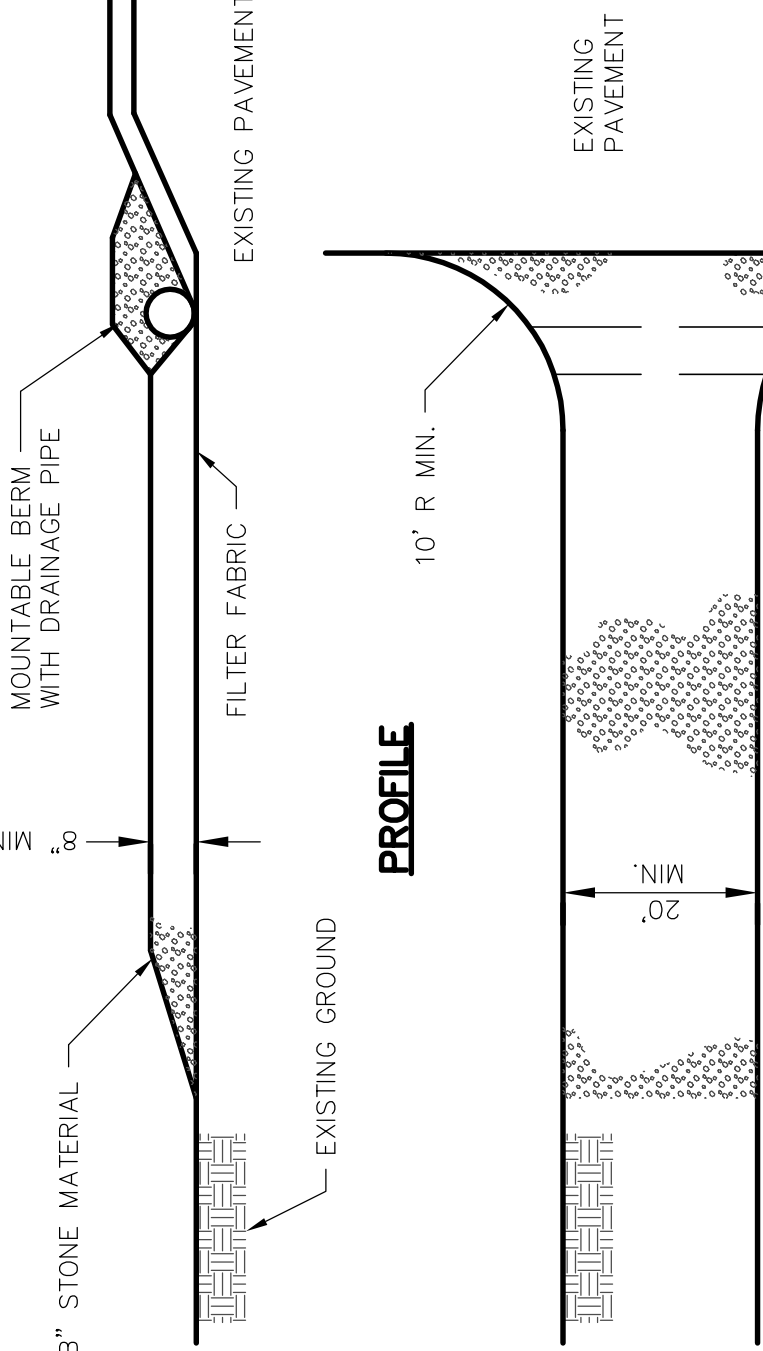
SEWER/WATER LINE BEDDING DETAIL
N.T.S.



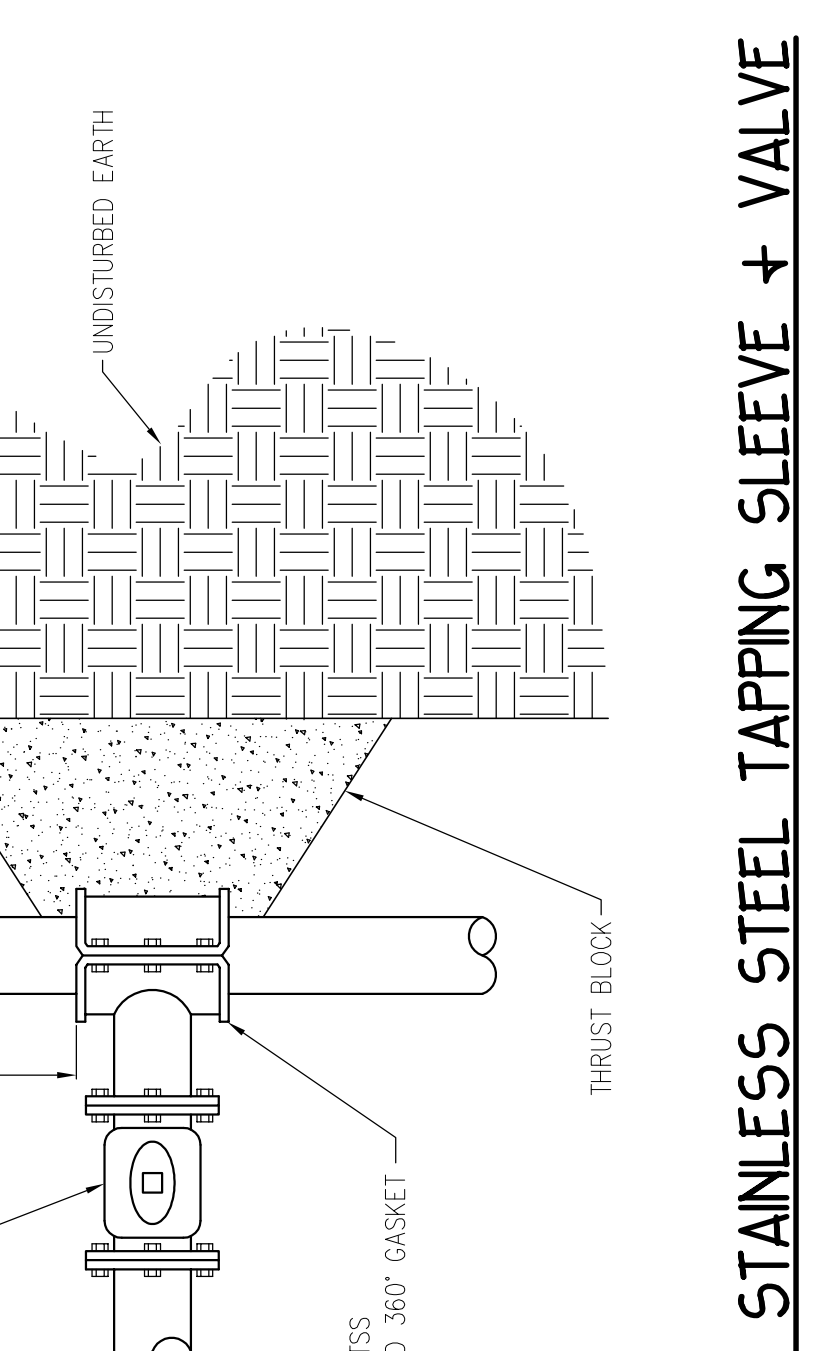
GATE VALVE BACKING DETAIL
N.T.S.



POLYETHYLENE METER BOX DETAIL
N.T.S.



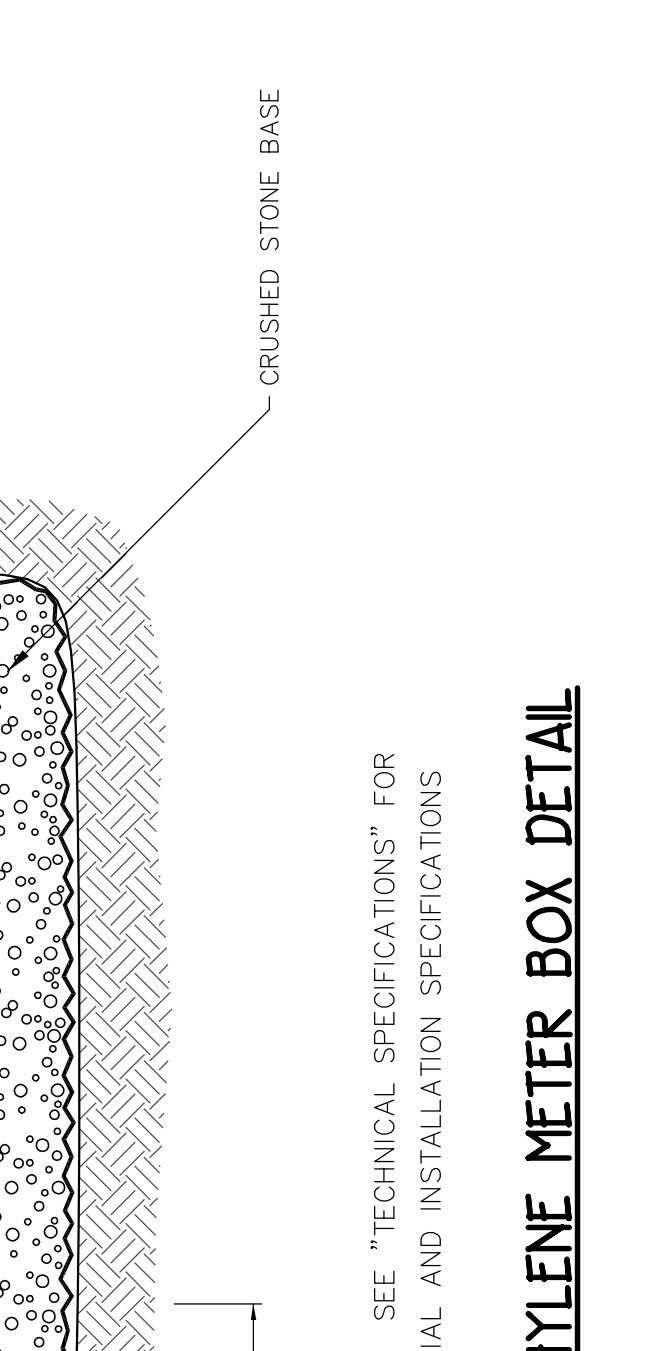
FIRE HYDRANT + VALVE CONNECTION
N.T.S.



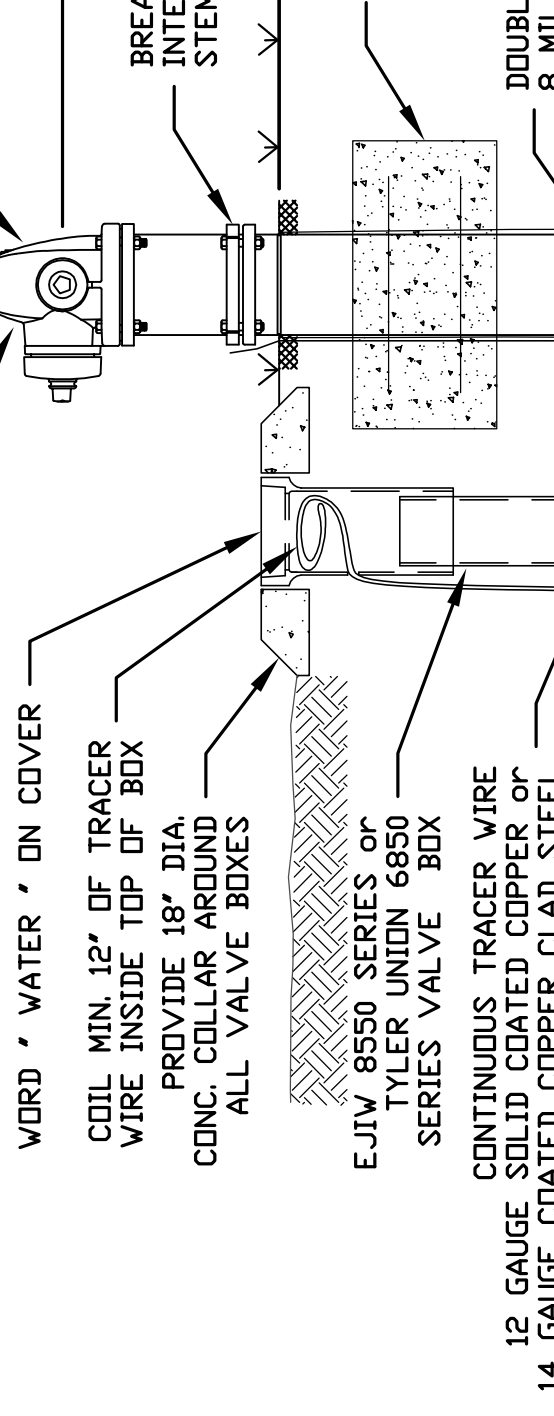
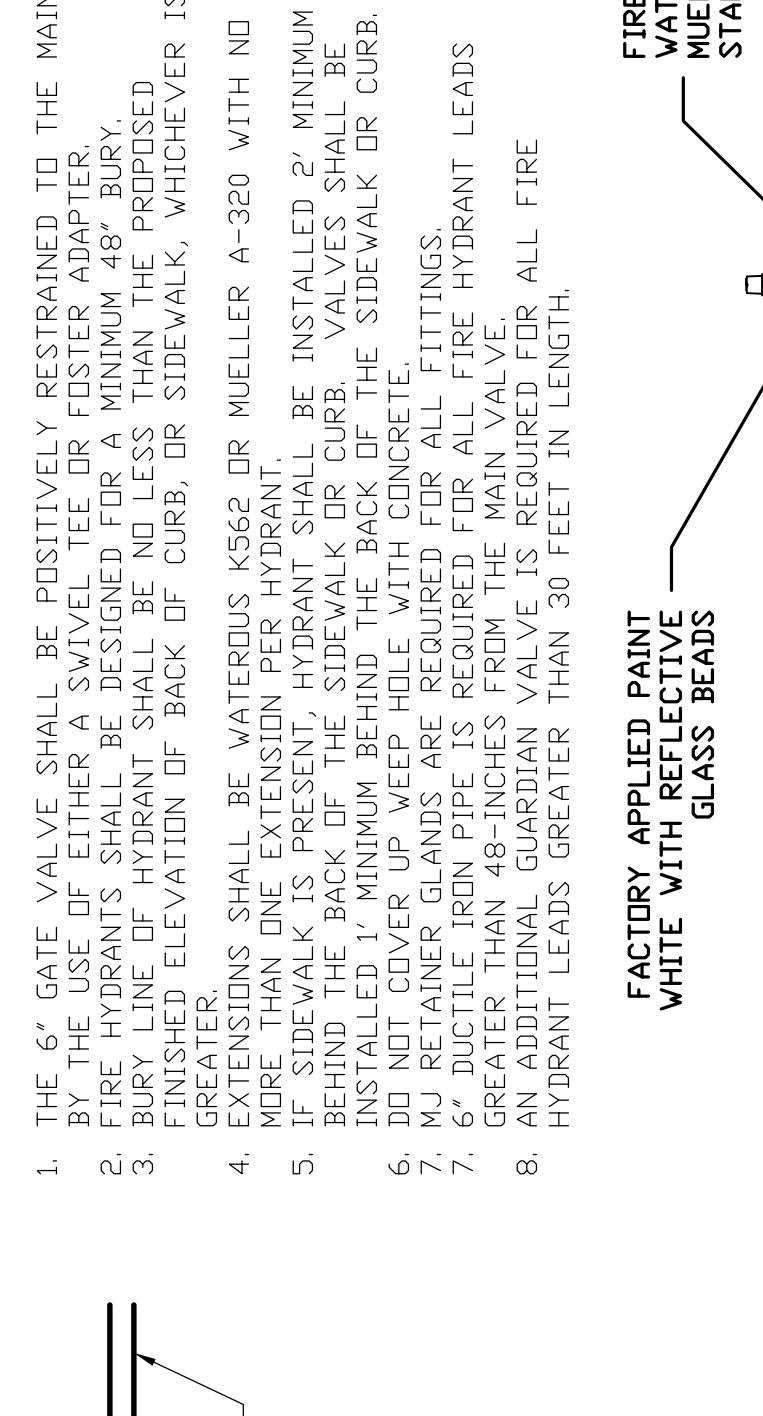
FORD STAINLESS STEEL TAPPING SLEEVE + VALVE
N.T.S.



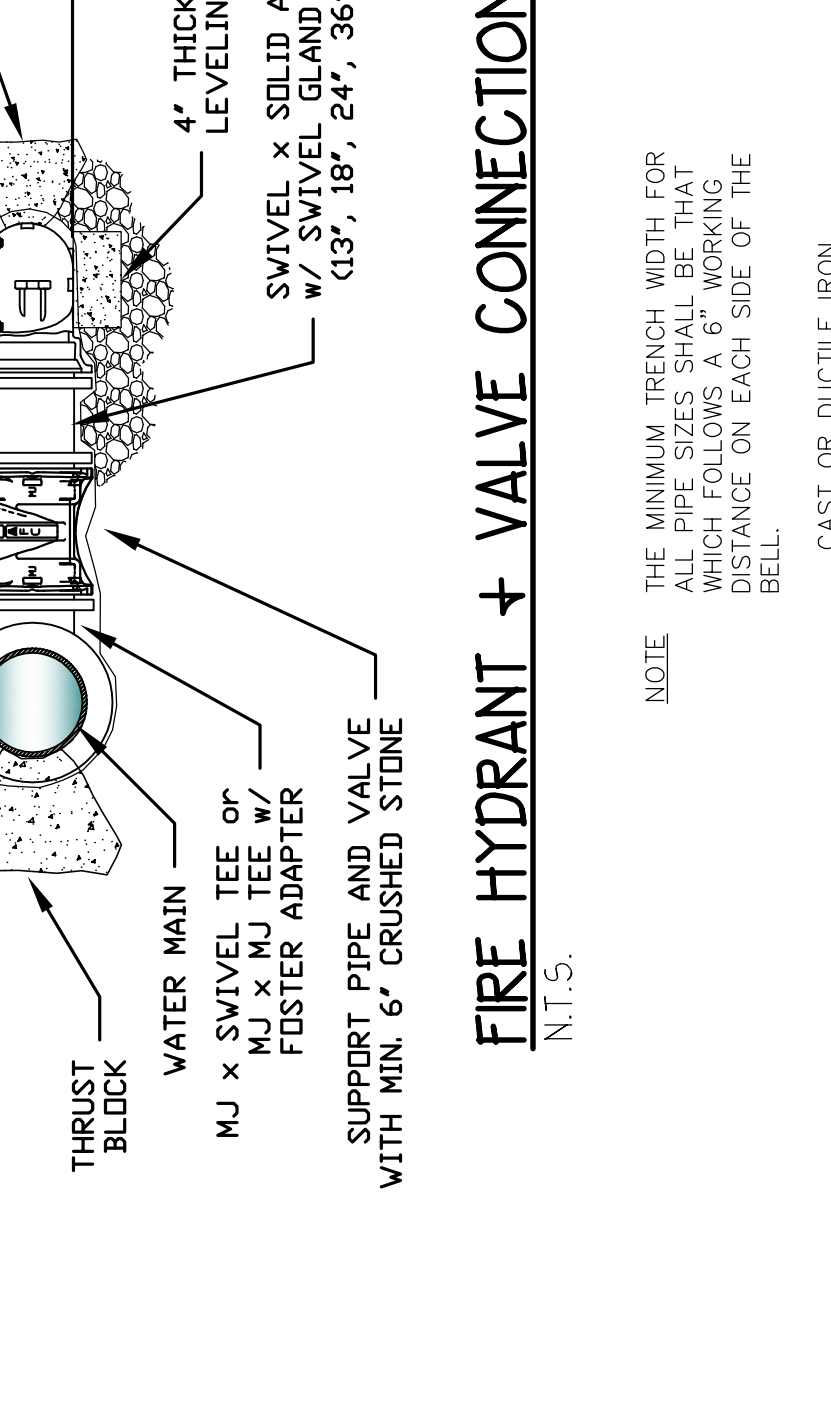
METAL PIPE INSTALLATION DETAIL
N.T.S.



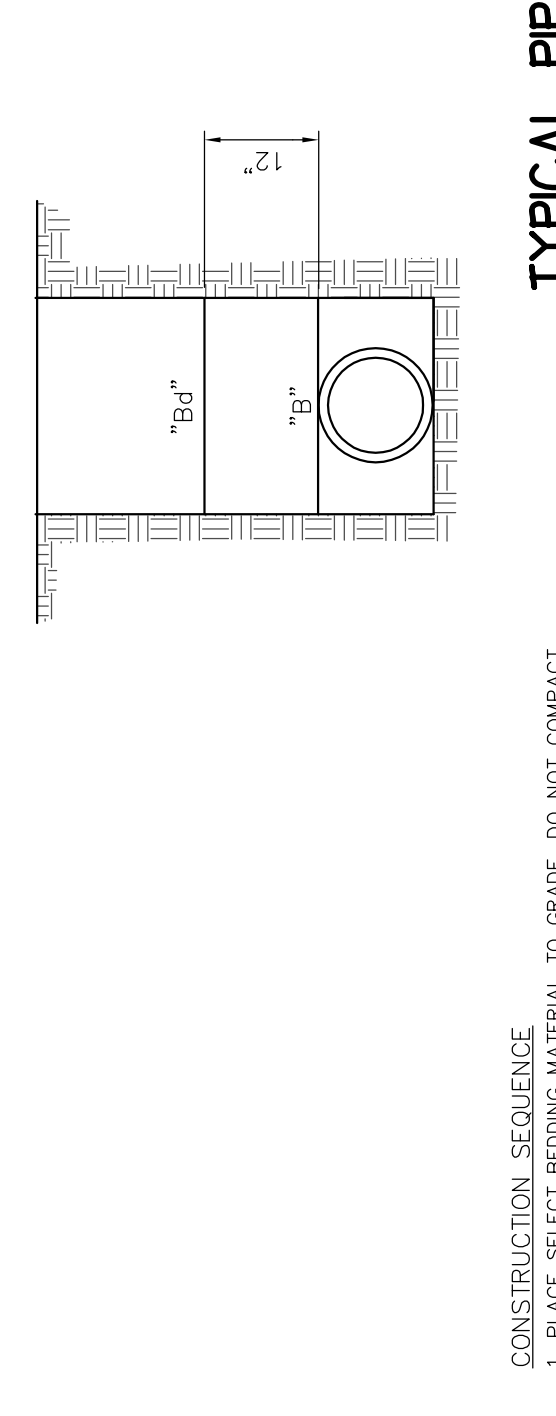
CONCRETE PIPE INSTALLATION DETAIL
N.T.S.



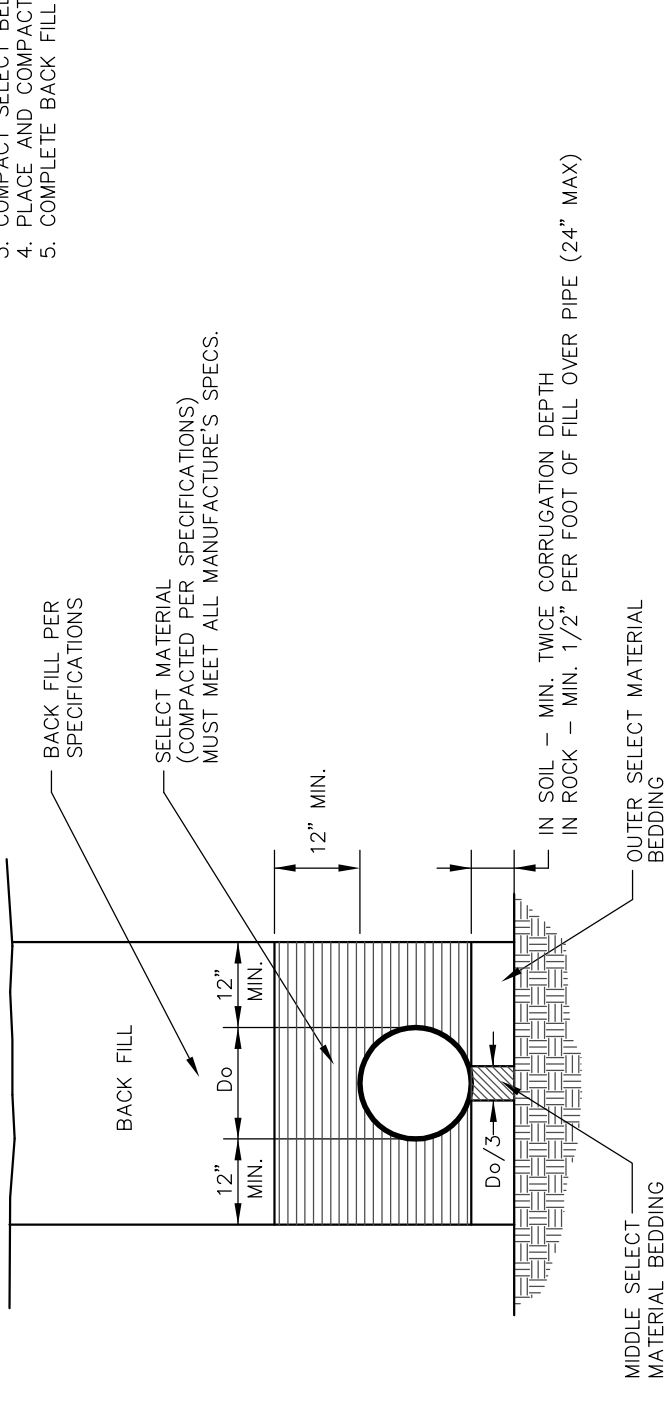
TRENCH WIDTH SCHEDULE



TYPICAL PIPE TRENCH
N.T.S.



CONSTRUCTION SEQUENCE



CONSTRUCTION SEQUENCE

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 9810
COFFEY, H. BATES

CERTIFICATE OF AUTHORIZATION
BATES & ASSOCIATES, INC.
#1335

PRWVN BY: T. FORD
ENGINEER: G. BATES
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DATE	REVISIONS
06/02/17	CONCEPT PLAT SUBMITTAL
07/07/17	1ST SUBMITTAL
07/25/17	2ND SUBMITTAL
07/31/17	3RD SUBMITTAL
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08/25/17	5TH SUBMITTAL
11/02/17	5TH SUBMITTAL

WASHINGTON COUNTY, ARKANSAS
SITE DETAILS
OLD WIRE SERVICE AND RECREATIONAL FACILITIES

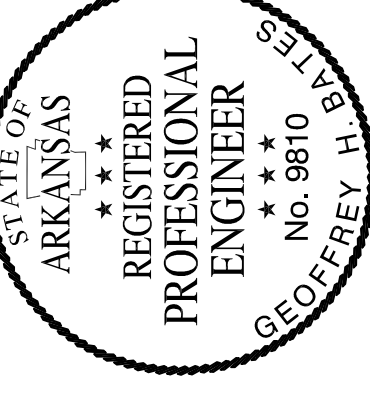
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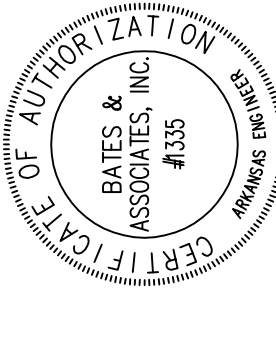
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WASHINGTON COUNTY, ARKANSAS
OLD WIRE SERVICE AND
RECREATIONAL FACILITIES
SITE DETAILS

REVISIONS	DATE
CONCEPT PLAT SUBMITTAL	06/02/17
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4TH SUBMITTAL	08/19/17
5TH SUBMITTAL	08/25/17
5TH SUBMITTAL	11/02/17

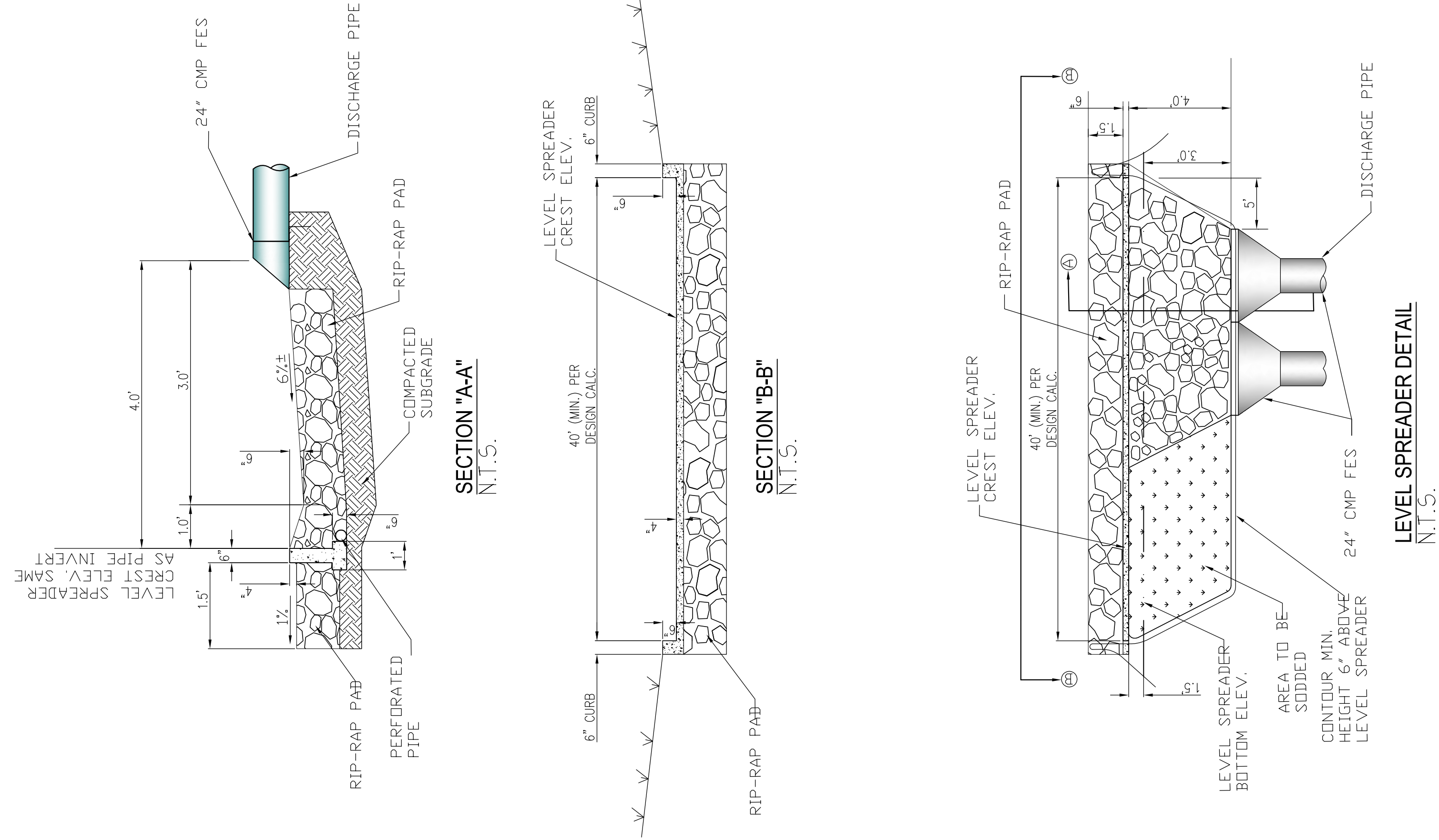


JEFFREY H. BATES
No. 9810
REGISTERED PROFESSIONAL ENGINEER
STATE OF ARKANSAS



CERTIFICATE OF AUTHORIZATION
BATES & ASSOCIATES, INC.
#1336

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DRAWN BY: T. Ford
ENGINEER: G. Bates



1730 PJT-OLD WIRE SERVICE & REC. - BLDG 3

OLD WIRE RD. (WC 87)

FAYETTEVILLE, AR 72703

CODE AND PROJECT DEVELOPMENT DATA - BLDG 3

BUILDING CODE:
 2012 ARKANSAS FIRE PREVENTION CODE, VOL. II
 (2012 IBC WITH AMENDMENTS)
 2014 NATIONAL ELECTRICAL CODE
 2006 ARKANSAS PLUMBING CODE
 2006 ARKANSAS STATE FUEL & GAS CODE
 2011 ARKANSAS PLUMBING CODE
 2011 ARKANSAS ENERGY CODE
 2009 ANSI A-117.1

OCCUPANCY:
 B-BUSINESS UNSPRINKLERED

TYPE CONSTRUCTION:
 II-B
 STRUCTURAL FRAME
 INTERIOR GLAZING WALLS
 EXTERIOR NON-BEARING WALLS
 INTERIOR NON-BEARING WALLS
 ROOF/CEILING
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR

ALLOWABLE HEIGHT & BUILDING AREA:
 ALLOWABLE SF PER FLOOR = 23,000 sf
 ALLOWABLE # FLOORS = 3 FLOORS

TOTAL AREA:
 HEATED - 4,891 sf
 UNHEATED - 109 sf

TOTAL OCCUPANTS:
 49 PEOPLE

B-BUSINESS, 100 GROSS = 4,891 sf / 100 sf = 49 PEOPLE

EGRESS REQUIREMENT:
 TENANT 10 PEOPLE x .7 / PERSON = 10' REQUIRED
 5 DOORS x .35' = 180' PROVIDED

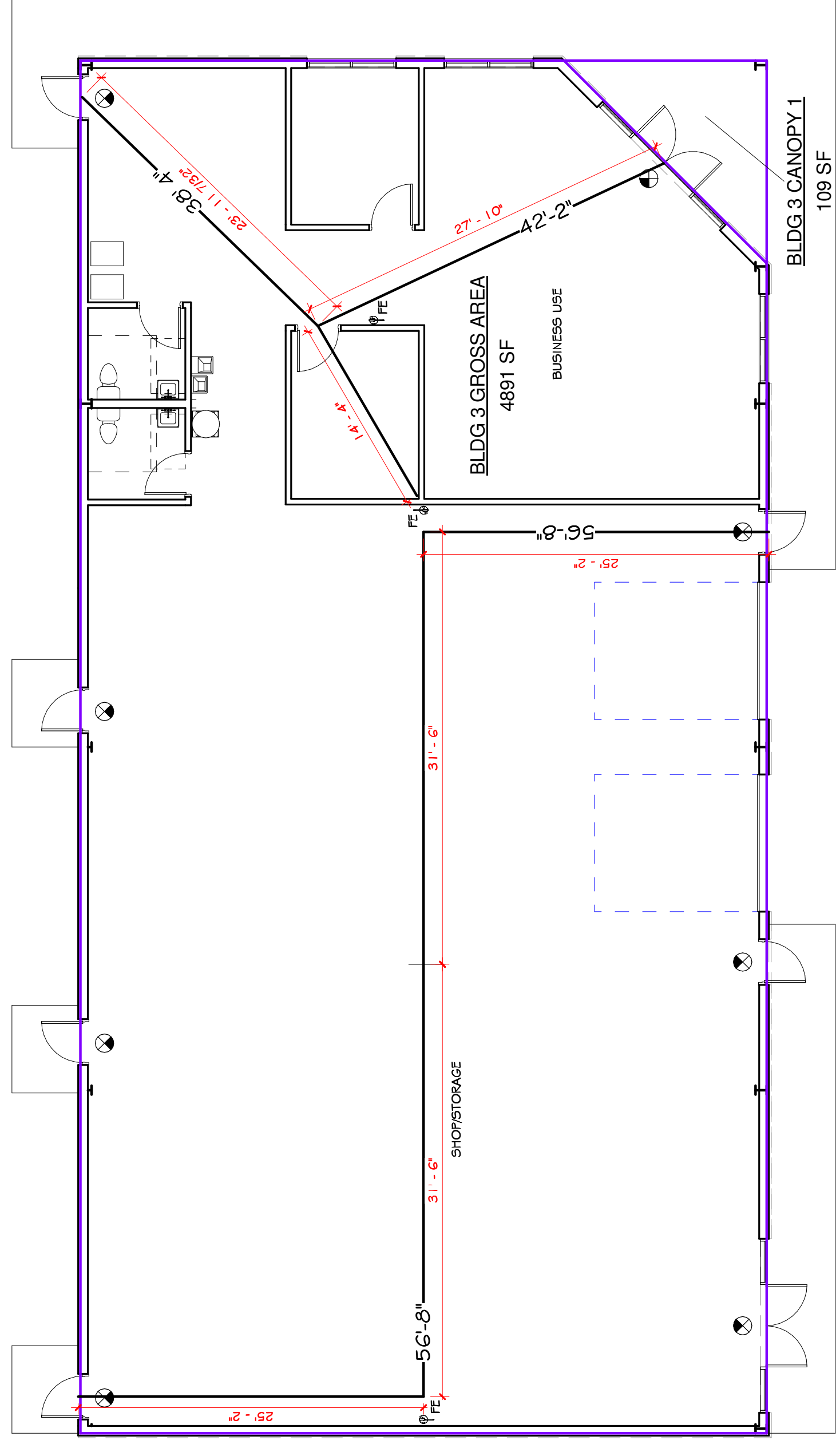
TRAVEL DISTANCE ALLOWED:
 B-BUSINESS, UNSPRINKLED
 200'

FIRE SEPARATION DISTANCES:
 NORTH -30'
 EAST -30'
 SOUTH -30'
 WEST -30'

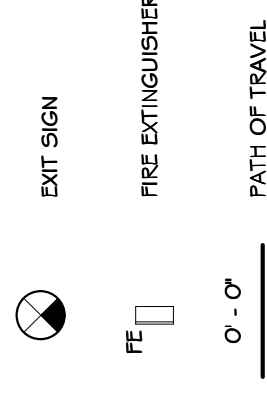
REQUIRED PLUMBING FIXTURES:

*WATER CLOSETS: 1 PER 25 EA. FOR THE FIRST 50 1 EA., 1 EA. PROVIDED
 180/25 = 7.2 7.2 EA. PROVIDED
 LAVATORIES: 1 PER 40 FOR THE FIRST 80 1 EA., 1 EA. PROVIDED
 80/40 = 2 2 EA. PROVIDED
 DRINKING FOUNTAINS: 1 PER 100 50/100 = 1.1 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED

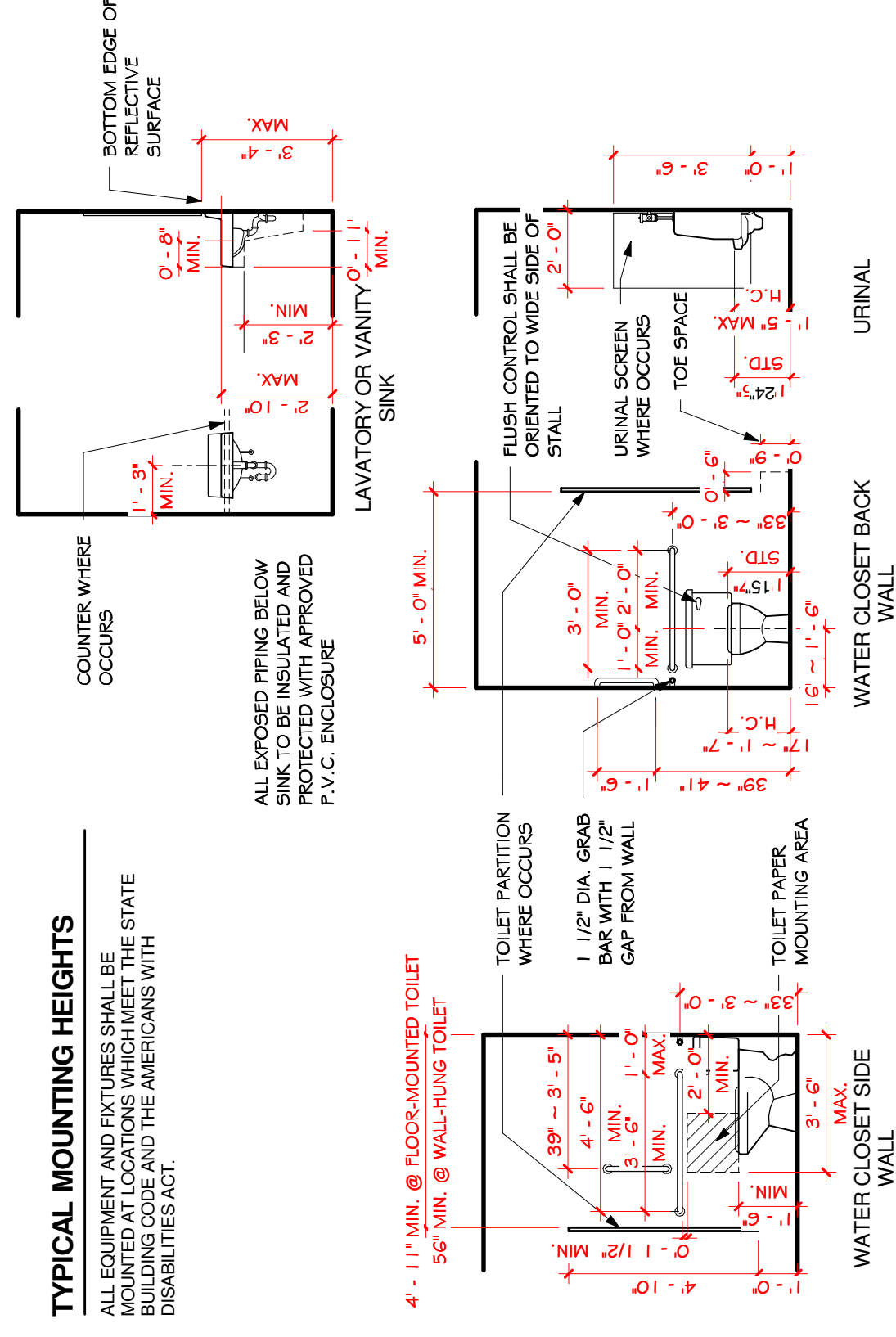
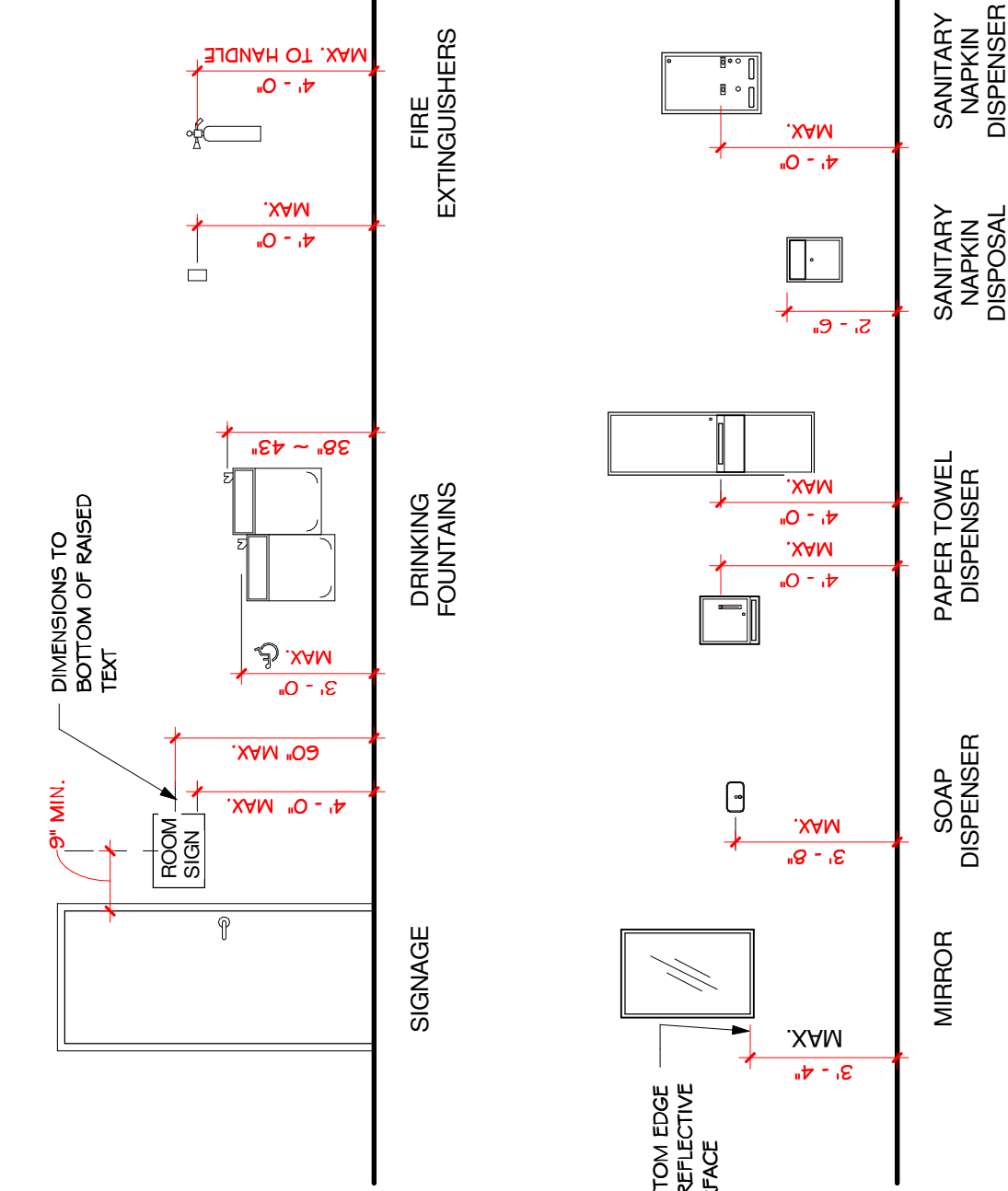
① BLDG 3 AREA / LIFE SAFETY PLAN
 SCALE = 1/8" = 1'-0"



LIFE SAFETY PLAN LEGEND



TYPICAL MOUNTING HEIGHTS
 ALL EQUIPMENT AND FIXTURES SHALL BE MOUNTED AT LOCATIONS WHICH MEET THE STATE BUILDING CODE AND THE AMERICANS WITH DISABILITIES ACT.



PROJECT TEAM DATA

ARCHITECT:
 KEY ARCHITECTURE INC.
 P.O. BOX 748
 FAYETTEVILLE, ARKANSAS 72702
 PH: (479) 444-6066
 FAX: (479) 444-1445

CONSULTANTS

STRUCTURAL:

MECHANICAL:

CIVIL:

IT IS EXPRESSLY UNDERSTOOD THAT THE ARCHITECT SHALL NOT PERFORM CONSTRUCTION MANAGEMENT SERVICES UNLESS SPECIFICALLY STATED IN THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE LIABLE TO THE CLIENT, TO THE OWNER OR TO ANY PARTY WORKING FOR OR THROUGH THE CLIENT OR THE OWNER, FOR ERRORS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS, WHICH ARE, OR WHICH UPON THE EXERCISE OF REASONABLE CARE SHOULD HAVE BEEN DISCOVERED DURING THE COURSE OF THE ARCHITECT'S PROFESSIONAL SERVICES, UNLESS SUCH ERRORS OR OMISSIONS ARE THE RESULT OF NEGLIGENCE OR WILLFUL MISFEASANCE ON THE PART OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES IN DESIGN OR CONSTRUCTION MADE DURING CONSTRUCTION WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT. THE CLIENT AND/OR THE OWNER SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM AND AGAINST ANY AND ALL CLAIMS OR DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, WHICH ARE NOT BROUGHT TO THE ARCHITECT'S ATTENTION FOR REVIEW AND ACTION BEFORE APPROVAL IN WRITING BY THE ARCHITECT, AND/OR FOR ERRORS OR OMISSIONS OF THE CONTRACTOR OR OF OTHER CONSULTANTS TO THE CLIENT AND/OR OWNER.

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE ARKANSAS FIRE PREVENTION CODE FOR THE STATE OF ARKANSAS, WITH THE REQUIREMENTS OF THE MUNICIPAL AUTHORITY AND ALL FEDERAL REGULATIONS.

BY: _____ DATE: _____

FOR CUP APPROVAL

Rev. #	Date	Description

#	Sheet Index	Sheet Name
A0.0	BLDG 3 - COVER SHEET	
A1.1	BLDG 3 FLOOR PLAN	
A2.1	BLDG 3 ELEVATIONS	
A2.2	BLDG 3 ELEVATIONS	

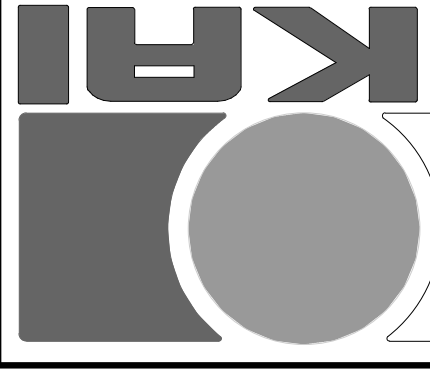
PT-OLD WIRE SERVICE & REC. - BLDG 3
 OLD WIRE RD. (WC 87)
 FAYETTEVILLE, AR 72703
 Pat Tobin
 2901 N. Tobin Ln.
 Fayetteville, AR 72703

DRAWN BY: A/HH
CHECKED BY: HFM
DATE: 10-05-17
PROJECT #: 1730

SHEET
A0.0
BLDG 3 - COVER SHEET

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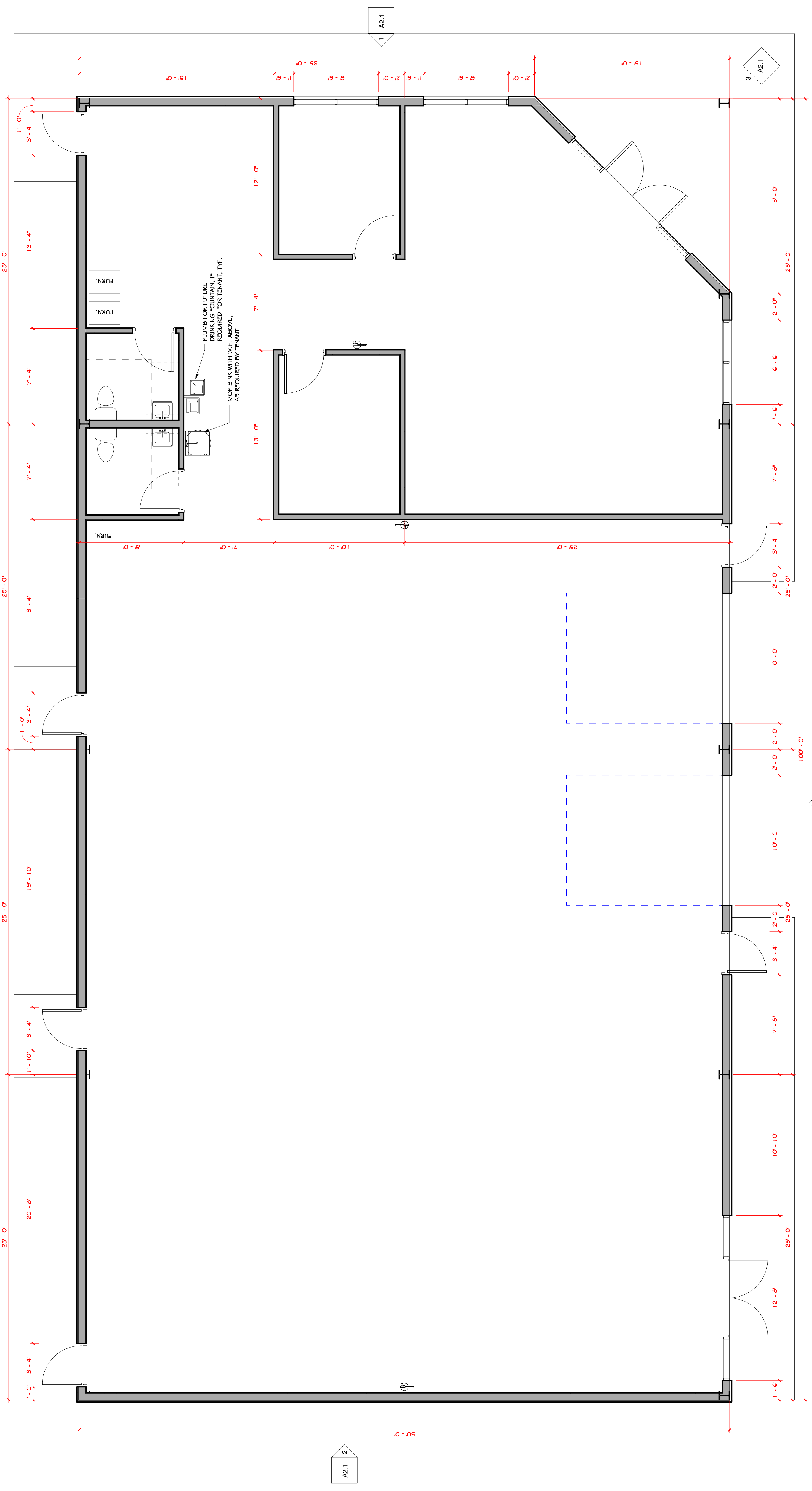
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Rev. #	Date	Description

Revision Schedule
PJT-OLD WIRE SERVICE & REC. - BLDG 3
FAYETTEVILLE, AR 72703
2901 N. Tobin Ln.
Fayetteville, AR 72703
Pat Tobin

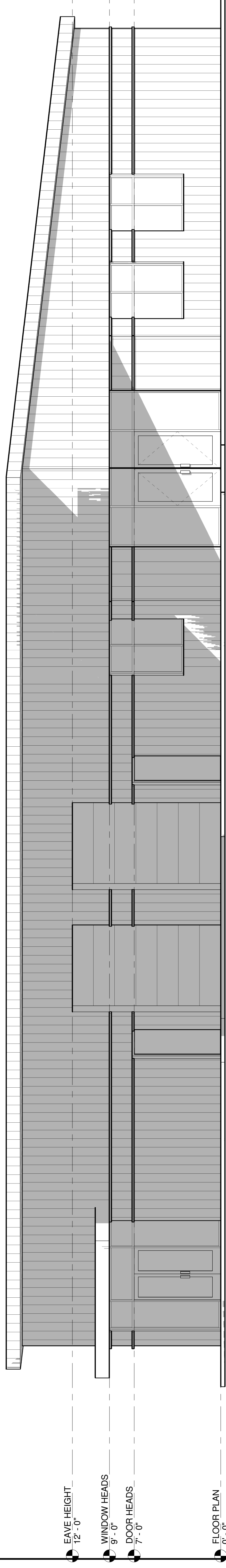
DRAWN BY: AMH
PROJECT #: 1730
CHECKED BY: HFM
SHEET: A1.1

BLDG 3 FLOOR PLAN
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1 FLOOR PLAN - BLDG 3
SCALE = 1/4" = 1'-0"





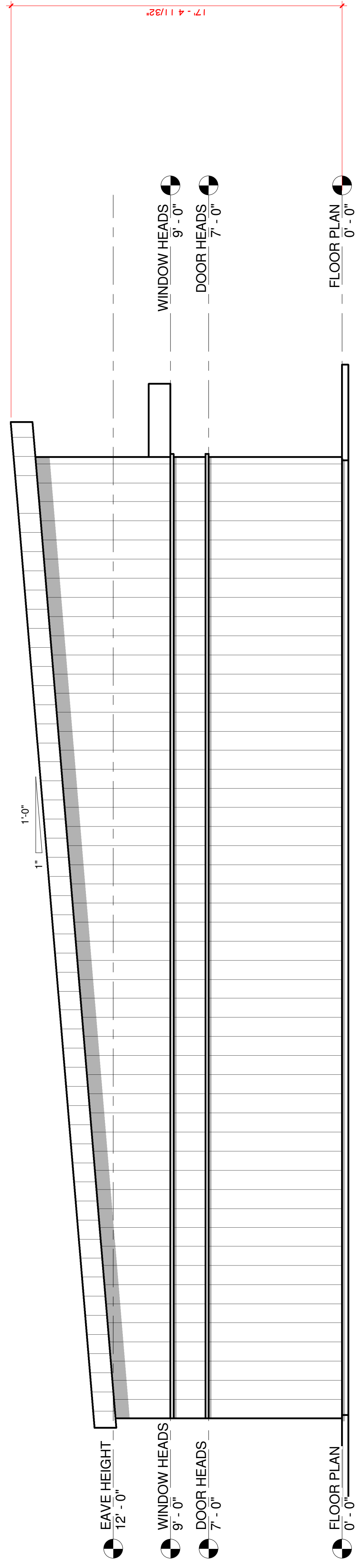
EAVE HEIGHT
12'-0"

WINDOW HEADS
9'-0"

DOOR HEADS
7'-0"

FLOOR PLAN
0'-0"

③ BLDG 3 - NE ELEVATION
SCALE = 1/4" = 1'-0"



EAVE HEIGHT
12'-0"

WINDOW HEADS
9'-0"

DOOR HEADS
7'-0"

FLOOR PLAN
0'-0"

1" = 1'-0"

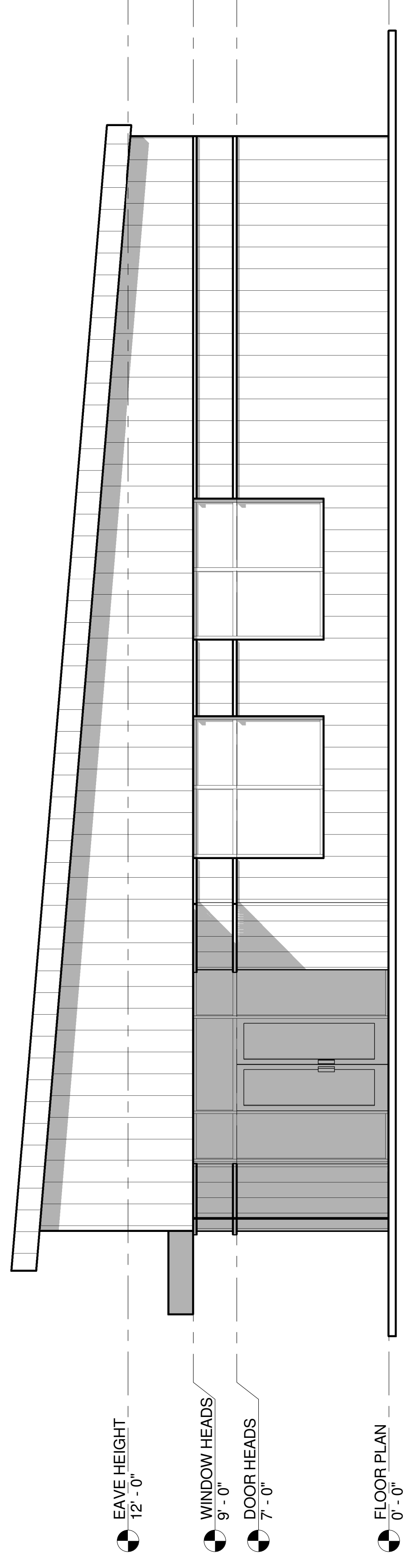
17'-4 1/8"

WINDOW HEADS
9'-0"

DOOR HEADS
7'-0"

FLOOR PLAN
0'-0"

② BLDG 3 - SOUTH ELEVATION
SCALE = 1/4" = 1'-0"



EAVE HEIGHT
12'-0"

WINDOW HEADS
9'-0"

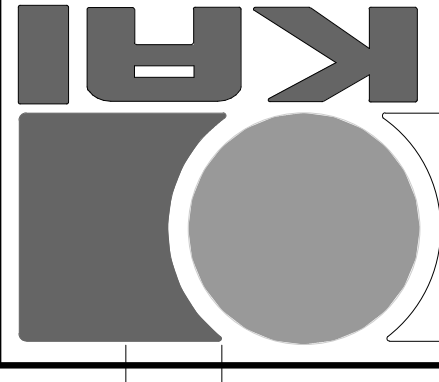
DOOR HEADS
7'-0"

FLOOR PLAN
0'-0"

① BLDG 3- NORTH ELEVATION (PRINCIPAL FACADE)
SCALE = 1/4" = 1'-0"

COLOR 1 ASH GRAY
COLOR 2 CHARCOAL GRAY
COLOR 3 POLAR WHITE

SEAL



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Revision Schedule	Rev. #	Date	Description

PJT-OLD WIRE SERVICE & REC. - BLDG 3
OLD WIRE RD. (WC 87)
FAYETTEVILLE, AR 72703
Pat Tobin
2901 N. Tobin Ln.
Fayetteville, AR 72703

DATE	DRAWN BY	PROJECT #	CHECKED BY
10-06-17	AMH	1730	HFM

SHEET
A2.1
BLDG 3 ELEVATIONS

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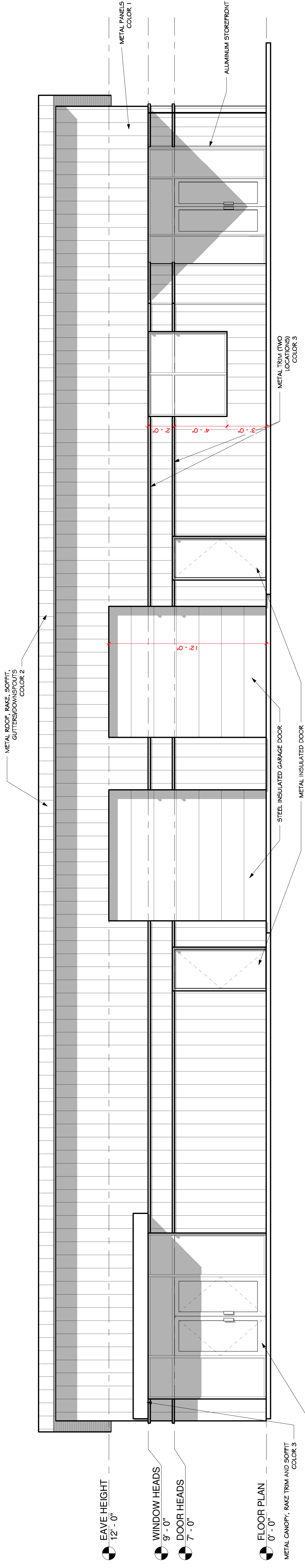
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PJT-OLD WIRE SERVICE & REC. - BLDG 3
OLD WIRE RD. (WC 87)
FAYETTEVILLE, AR 72703
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DRAWN BY: AMH
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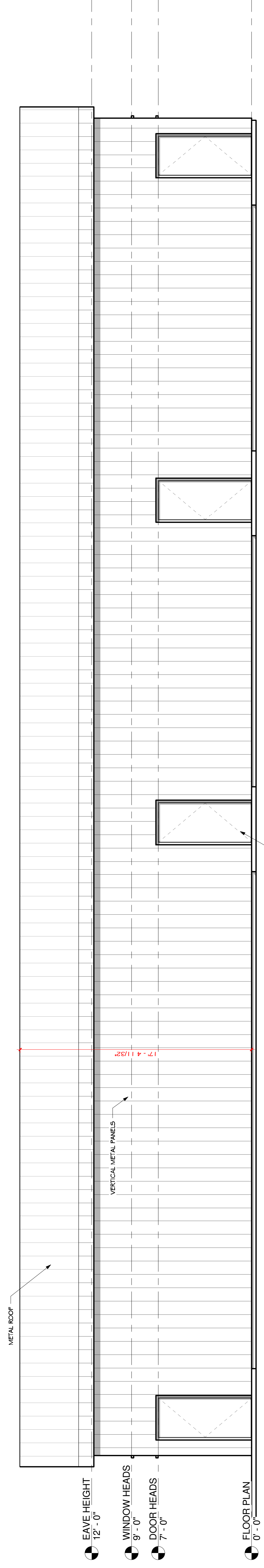
SHEET
A2.2
BLDG 3 ELEVATIONS

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2 BLDG 3 - EAST ELEVATION

SCALE = 1/4" = 1'-0"



1 BLDG 3 - WEST ELEVATION

SCALE = 1/4" = 1'-0"

1730 PJT-OLD WIRE SERVICE & REC. - BLDG 4

OLD WIRE RD. (WC 87)

FAYETTEVILLE, AR 72703

CODE AND PROJECT DEVELOPMENT DATA - BLDG 4

BUILDING CODE:

2012 ARKANSAS FIRE PREVENTION CODE, VOL. II
 (2012 IBC WITH AMENDMENTS)
 2014 NATIONAL ELECTRICAL CODE
 2006 ARKANSAS PLUMBING CODE
 2006 ARKANSAS STATE FUEL & GAS CODE
 2006 ARKANSAS ENERGY CODE
 2011 ARKANSAS ENERGY CODE
 2009 ANSI A-117.1

OCCUPANCY

B-BUSINESS UNSPRINKLERED

TYPE CONSTRUCTION:

II-B

STRUCTURAL FRAME
 INTERIOR BEARING WALLS
 EXTERIOR NON-BEARING WALLS
 INTERIOR NON-BEARING WALLS
 ROOF/CEILING

NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR

ALLOWABLE HEIGHT & BUILDING AREA:

ALLOWABLE SF PER FLOOR = 23,000 sf
 ALLOWABLE # FLOORS = 3 FLOORS

TOTAL AREA:
 HEATED - 4,891 sf
 UNHEATED - 109 sf

TOTAL OCCUPANTS:
 B-BUSINESS, 100 GROSS = 4,891sf / 100 sf = 49 PEOPLE

EGRESS REQUIREMENT:

TENANT 49 PEOPLE x .7 / PERSON = 107 REQUIRED
 5 DOORS x .36' = 180' PROVIDED

TRAVEL DISTANCE ALLOWED:

B-BUSINESS, UNSPRINKLERED 200'

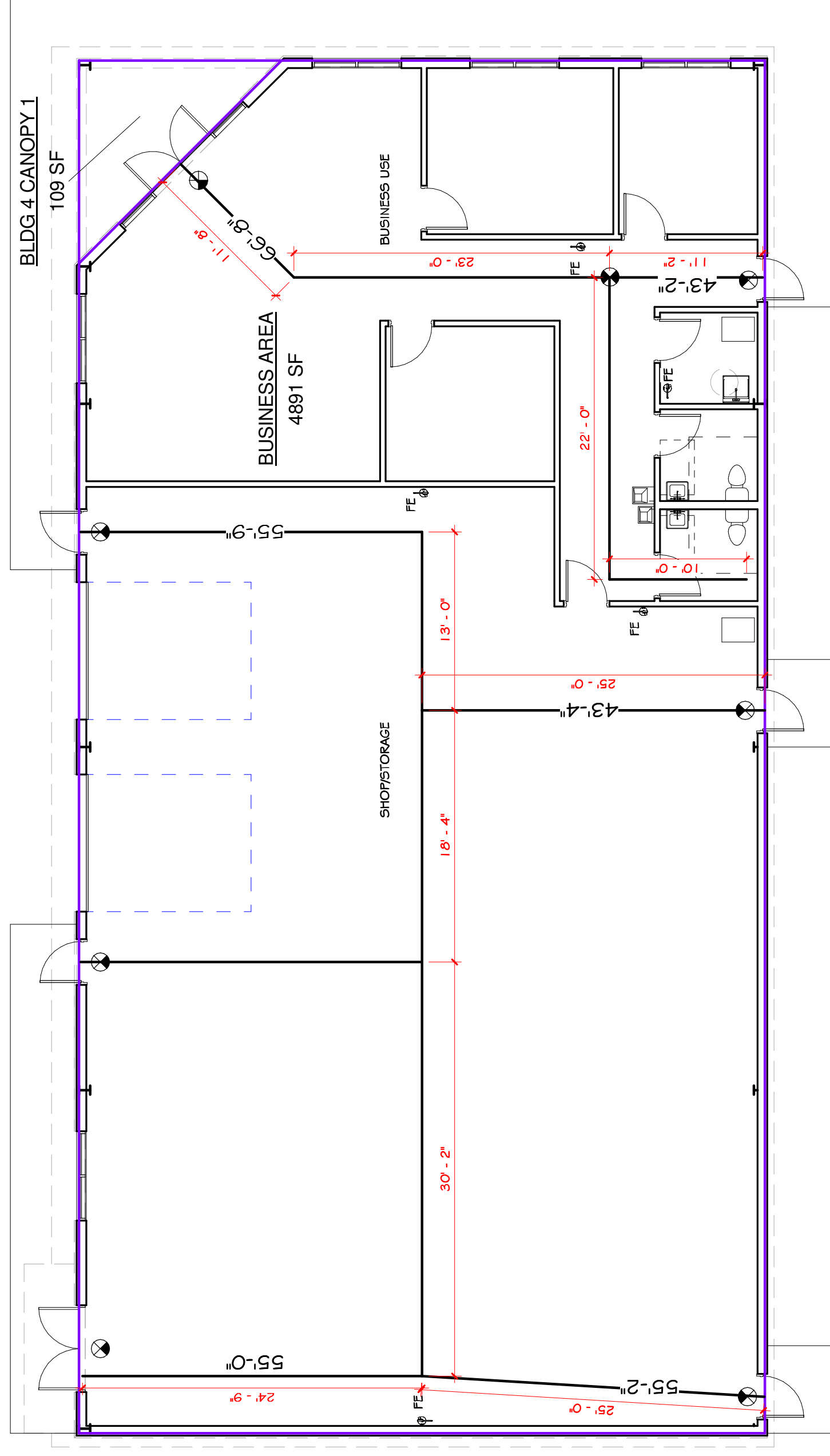
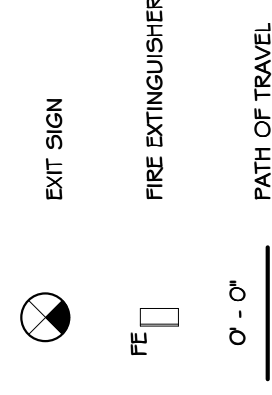
FIRE SEPARATION DISTANCES:

NORTH -30'
 EAST -30'
 SOUTH -30'
 WEST -30'

REQUIRED PLUMBING FIXTURES:

*WATER CLOSETS: 1 PER 25 EA. FOR THE FIRST 50 1 EA., 1 EA. PROVIDED
 49 PEOPLE x .27 / PERSON = 13 PER 100 1 EA., 1 EA. PROVIDED
 LAVATORIES: 1 PER 400 SF THE FIRST 80 49 / 40 = 1 EA., 1 EA. PROVIDED
 DRINKING FOUNTAINS: 1 PER 100 49 / 100 = 1.1 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED

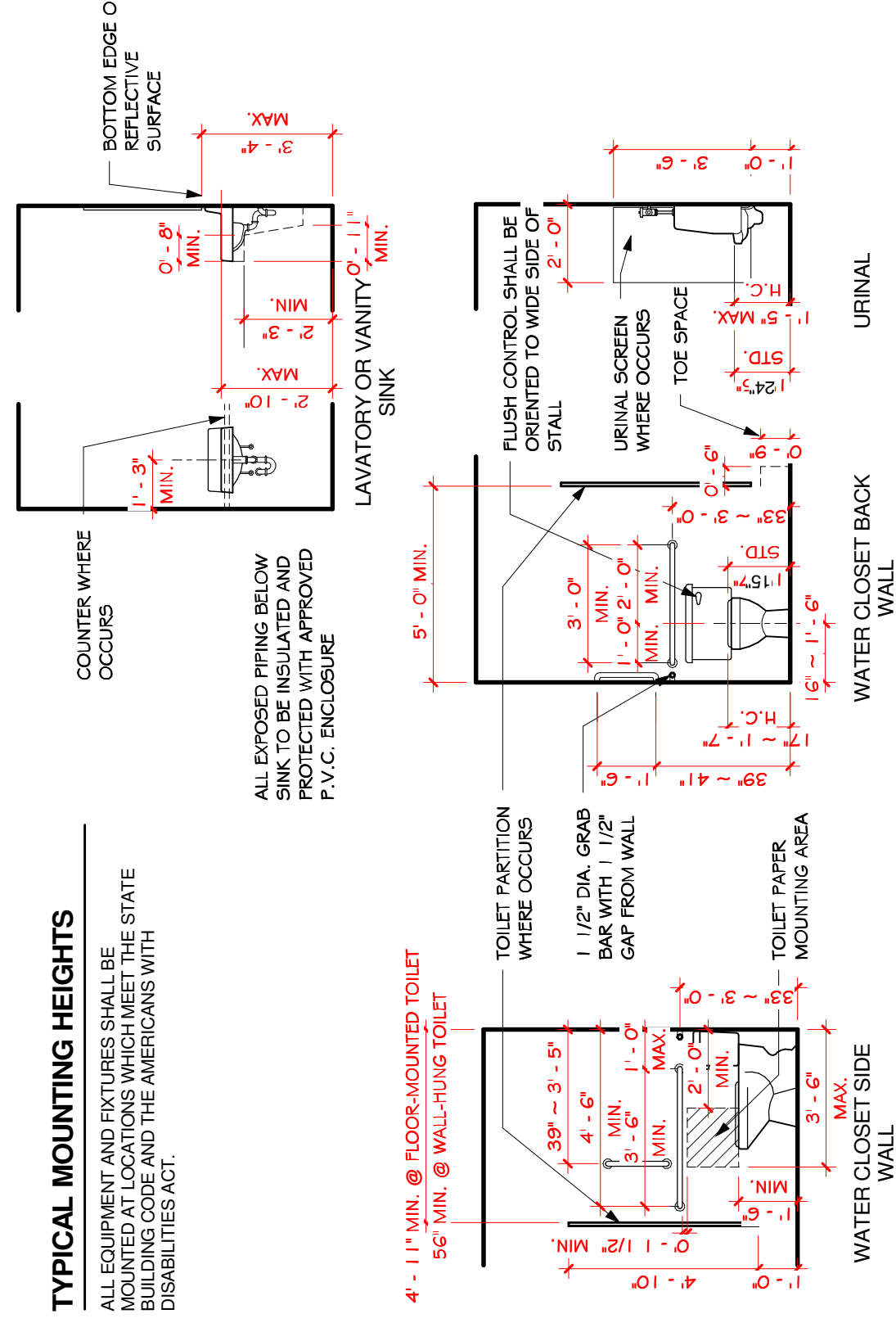
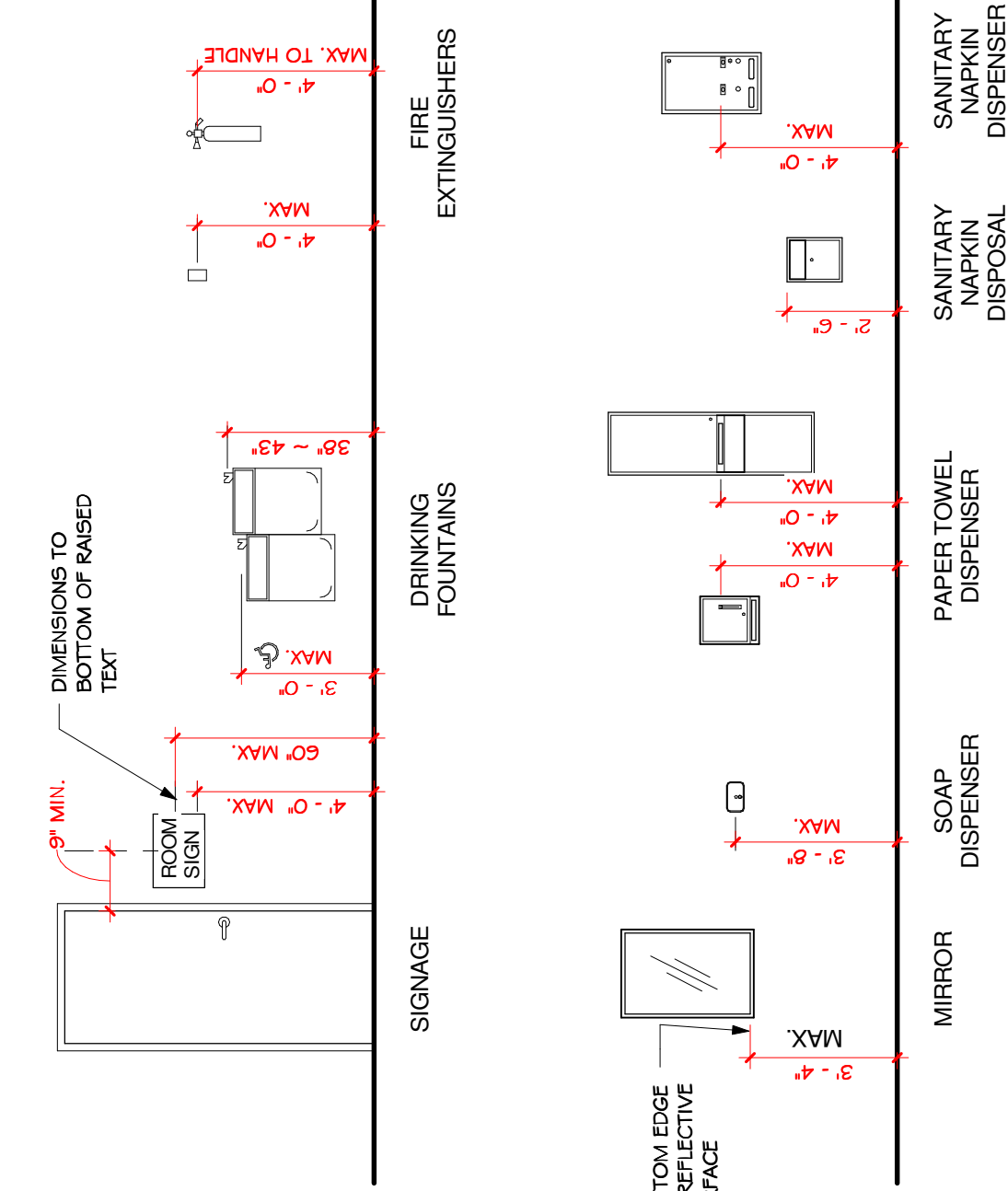
LIFE SAFETY PLAN LEGEND



① BLDG 4 AREA / LIFE SAFETY PLAN
 SCALE = 1/8" = 1'-0"

TYPICAL MOUNTING HEIGHTS

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PROJECT TEAM DATA

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CONSULTANTS

STRUCTURAL:

MECHANICAL:

CIVIL:

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BY: _____ DATE: _____

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Rev. #	Date	Description

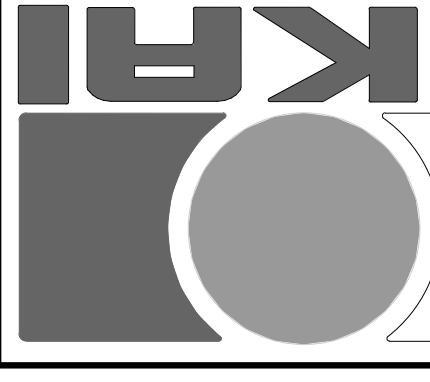
PT-OLD WIRE SERVICE & REC. - BLDG 4
 OLD WIRE RD. (WC 87)
 FAYETTEVILLE, AR 72703
 Pat Tobin
 2901 N. Tobin Ln.
 Fayetteville, AR 72703

DRAWN BY: AIH
 PROJECT # 1730
 CHECKED BY: HFM

SHEET
A0.0

BLDG 4 COVER SHEET
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Revision Schedule	Rev. #	Date	Description

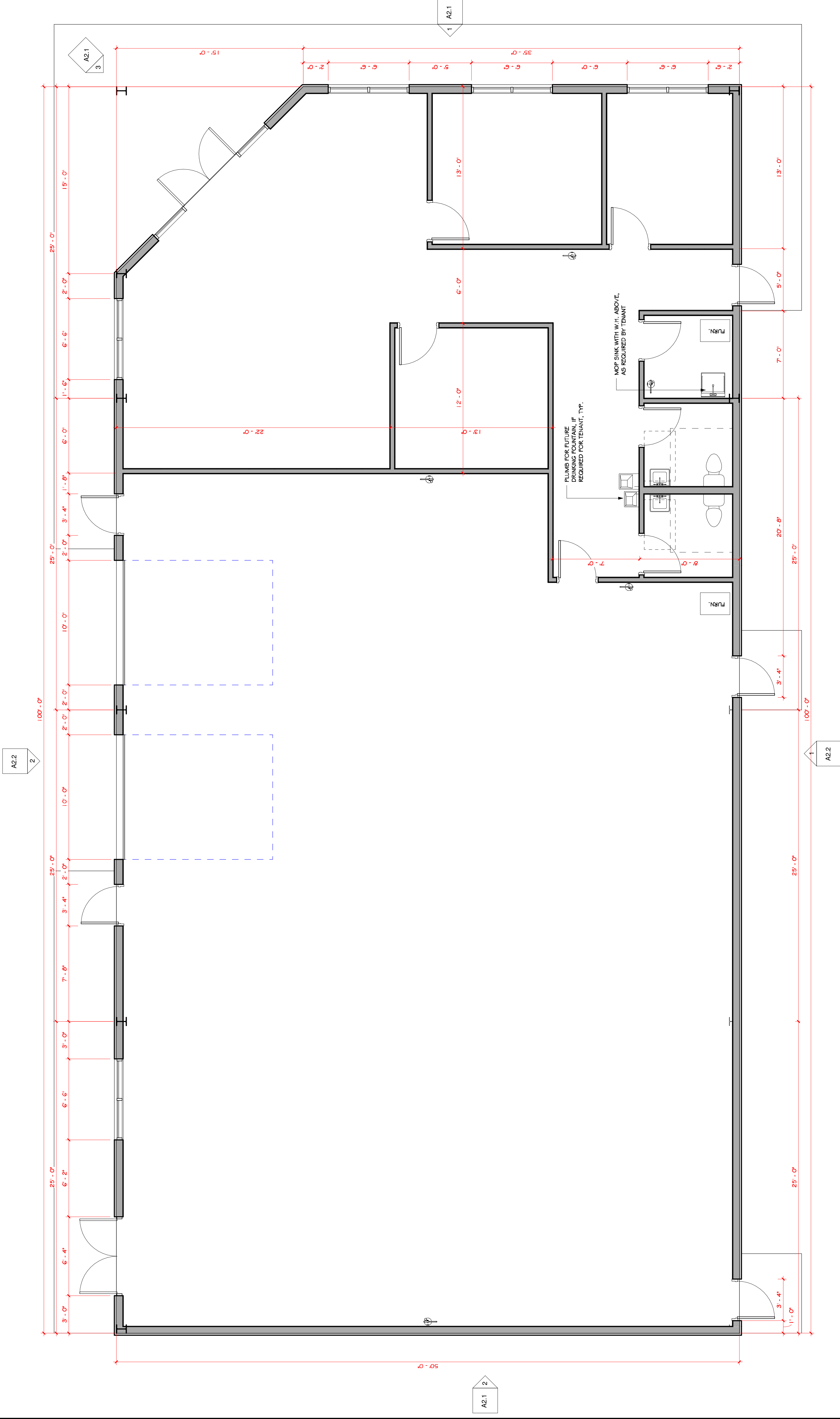
PJT-OLD WIRE SERVICE & REC. - BLDG 4
OLD WIRE RD. (WC 87)
FAYETTEVILLE, AR 72703

Pat Tobin
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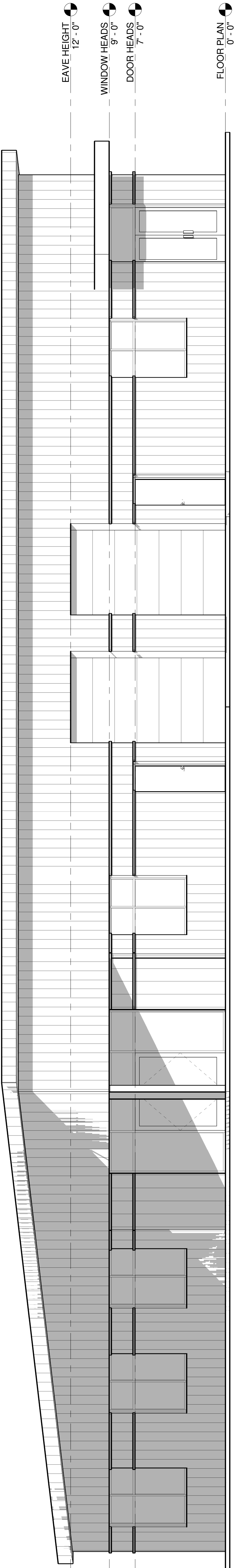
DATE: 10-06-17
DRAWN BY: AMH
PROJECT #: 1730
CHECKED BY: HFM
SHEET

A1.1
BLDG 4 FLOOR PLAN

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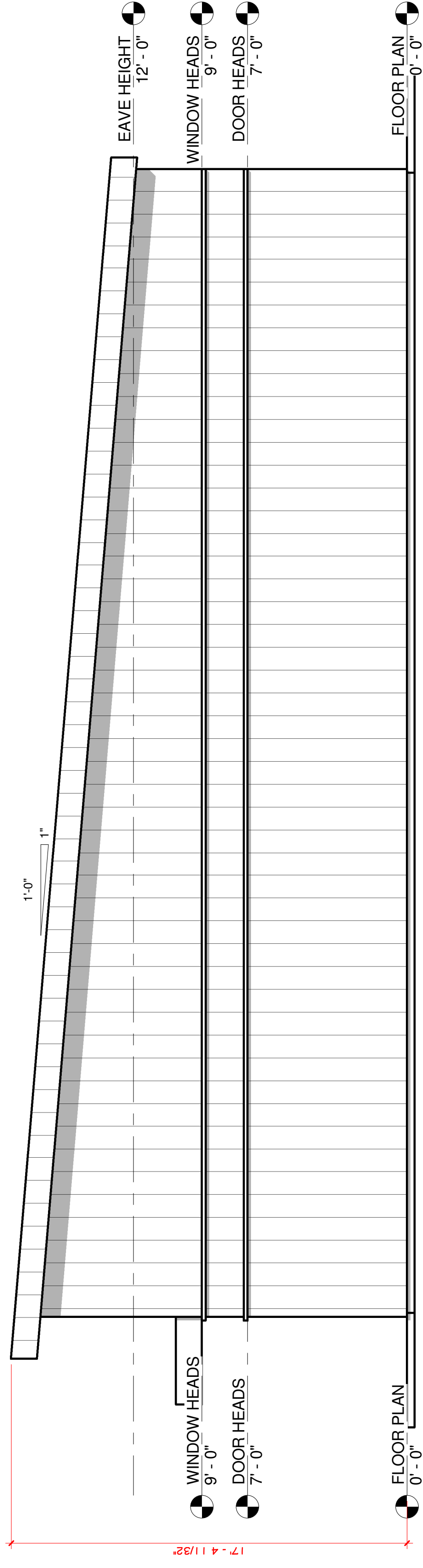


① FLOOR PLAN - BLDG 4
SCALE = 1/4" = 1'-0"



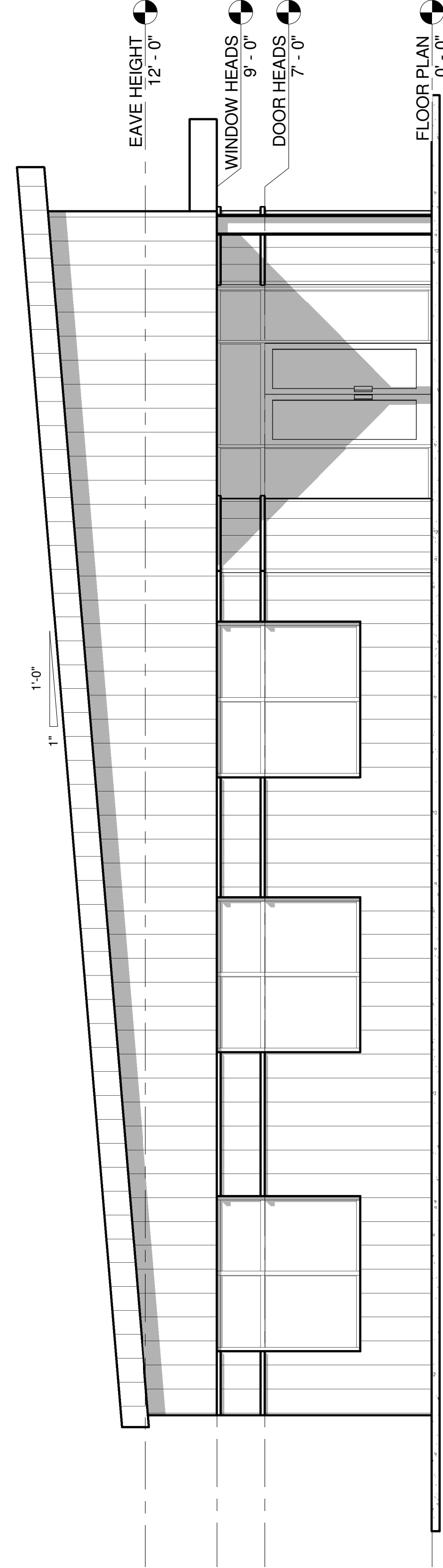
③ BLDG 4 - NW ELEVATION
SCALE = 1/4" = 1'-0"

EAVE HEIGHT 12'-0"
WINDOW HEADS 9'-0"
DOOR HEADS 7'-0"
FLOOR PLAN 0'-0"



② BLDG 4 - SOUTH ELEVATION
SCALE = 1/4" = 1'-0"

EAVE HEIGHT 12'-0"
WINDOW HEADS 9'-0"
DOOR HEADS 7'-0"
FLOOR PLAN 0'-0"



① BLDG 4- NORTH ELEVATION (PRINCIPAL FACADE)
SCALE = 1/4" = 1'-0"

EAVE HEIGHT 12'-0"
WINDOW HEADS 9'-0"
DOOR HEADS 7'-0"
FLOOR PLAN 0'-0"

COLOR 1 ASH GRAY
COLOR 2 CHARCOAL GRAY
COLOR 3 POLAR WHITE

SEAL



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PH: 479.444.6066 FAX: 479.444.1445

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Revision Schedule	Rev. #	Date	Description

PJT-OLD WIRE SERVICE & REC. - BLDG 4
OLD WIRE RD. (WC 87)
FAYETTEVILLE, AR 72703

Pat Tobin
2901 N. Tobin Ln.
Fayetteville, AR 72703

DRAWN BY AMH
PROJECT # 1730
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SHEET
A2.1
BLDG 4 ELEVATIONS

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Revision Schedule	Rev. #	Date	Description

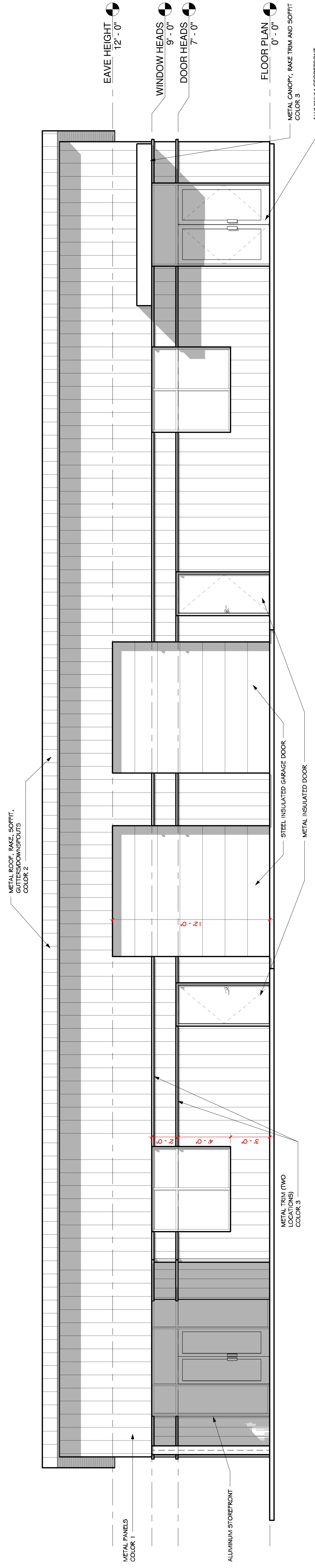
PJT-OLD WIRE SERVICE & REC. - BLDG 4
 OLD WIRE RD. (WC 87)
 FAYETTEVILLE, AR 72703

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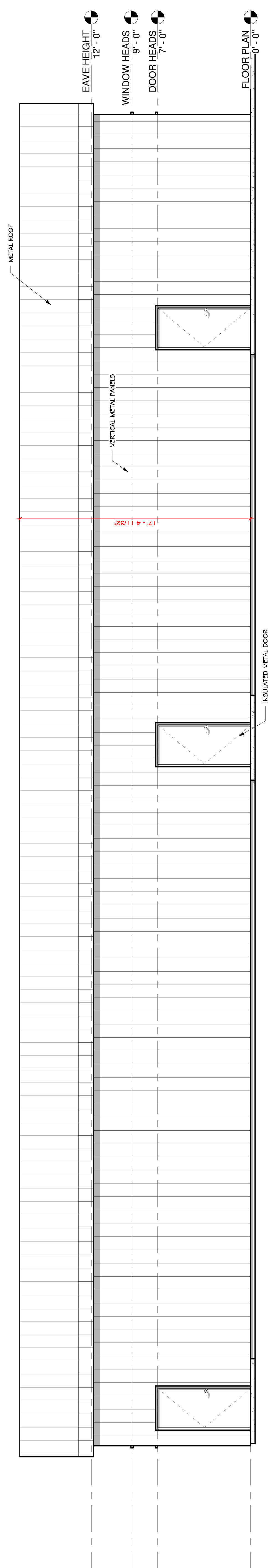
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BLDG 4 ELEVATIONS
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2 BLDG 4 - WEST ELEVATION

SCALE = 1/4" = 1'-0"



1 BLDG 4 - EAST ELEVATION

SCALE = 1/4" = 1'-0"

1730 PJT-OLD WIRE SERVICE & REC. - BLDG 5 OLD WIRE RD. (WC 87) FAYETTEVILLE, AR 72703

CODE AND PROJECT DEVELOPMENT DATA - BLDG 5

BUILDING CODE:
 2012 ARKANSAS FIRE PREVENTION CODE, VOL. II
 (2012 IBC WITH AMENDMENTS)
 2014 NATIONAL ELECTRICAL CODE
 2006 ARKANSAS PLUMBING CODE
 2006 ARKANSAS STATE FUEL & GAS CODE
 2011 ARKANSAS ENERGY CODE
 2009 ANSI A-117.1

OCCUPANCY:
 B-BUSINESS UNSPRINKLERED
 II-B

TYPE CONSTRUCTION:
 STRUCTURAL FRAME
 INTERIOR GLAZING WALLS
 EXTERIOR NON-BEARING WALLS
 INTERIOR NON-BEARING WALLS
 ROOF/CEILING
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR

ALLOWABLE HEIGHT & BUILDING AREA:
 ALLOWABLE SF PER FLOOR = 23,000 sf
 ALLOWABLE # FLOORS = 3 FLOORS

TOTAL AREA:
 HEATED - 3,000 sf
 UNHEATED - 92 sf

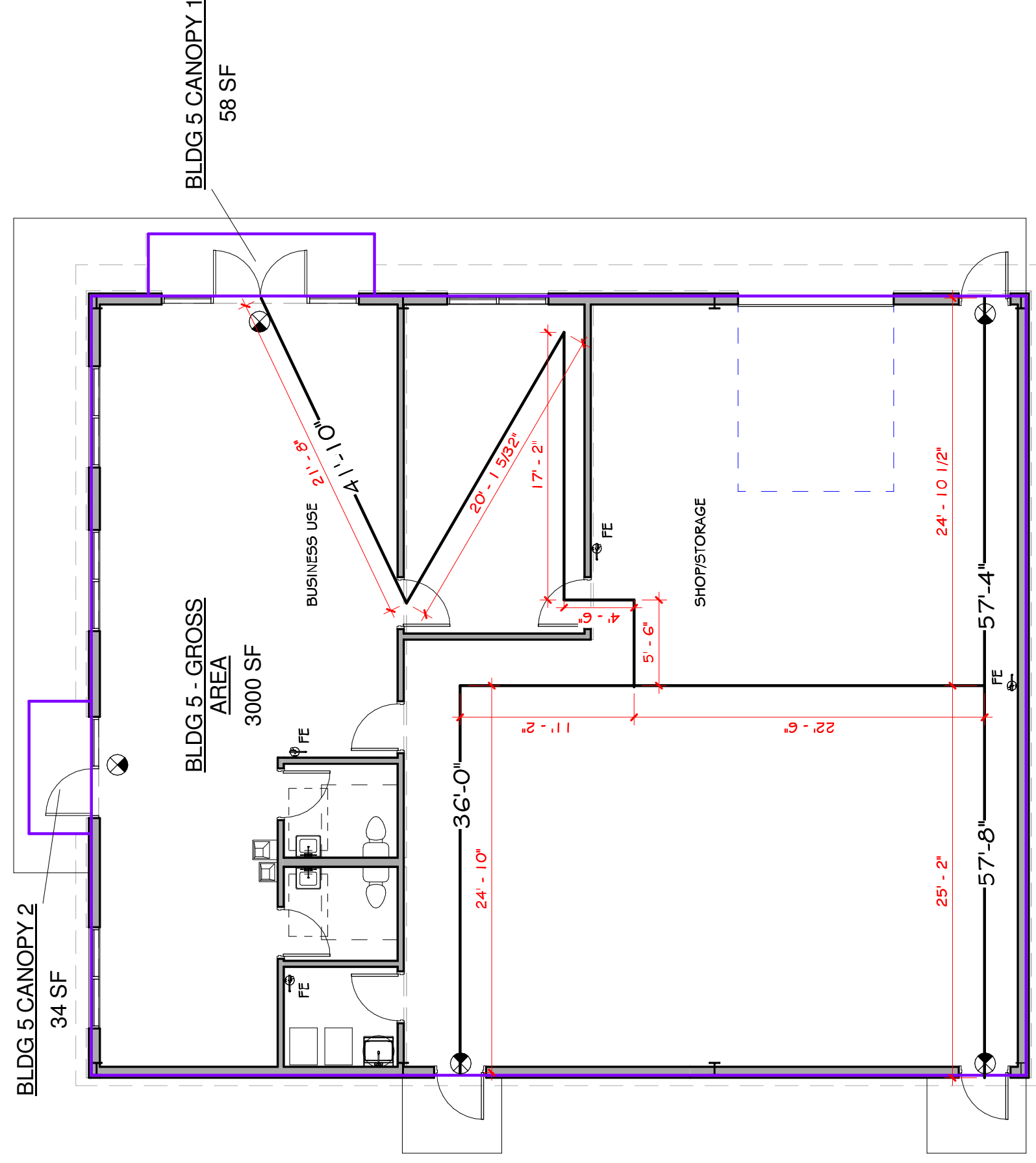
TOTAL OCCUPANTS:
 B-BUSINESS, 100 GROSS = 3,000 sf / 100 sf = 30 PEOPLE

EGRESS REQUIREMENT:
 TENANT 70 PEOPLE x 7' / PERSON = 490 SF
 5 DOORS x 36' = 180' PROVIDED

TRAVEL DISTANCE ALLOWED:
 B-BUSINESS, UNSPRINKLERED
 200'

FIRE SEPARATION DISTANCES:
 NORTH -30'
 EAST -30'
 SOUTH -30'
 WEST -30'

REQUIRED PLUMBING FIXTURES:
 *WATER CLOSETS: 1 PER 25 EA. FOR THE FIRST 50
 100 EA. FOR THE FIRST 80
 1 EA., 1 EA. PROVIDED
 LAVATORIES: 1 PER 40 EA. FOR THE FIRST 80
 30 / 40 = 1 EA., 1 EA. PROVIDED
 DRINKING FOUNTAINS: 1 PER 100
 30 / 100 = 1.1 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED

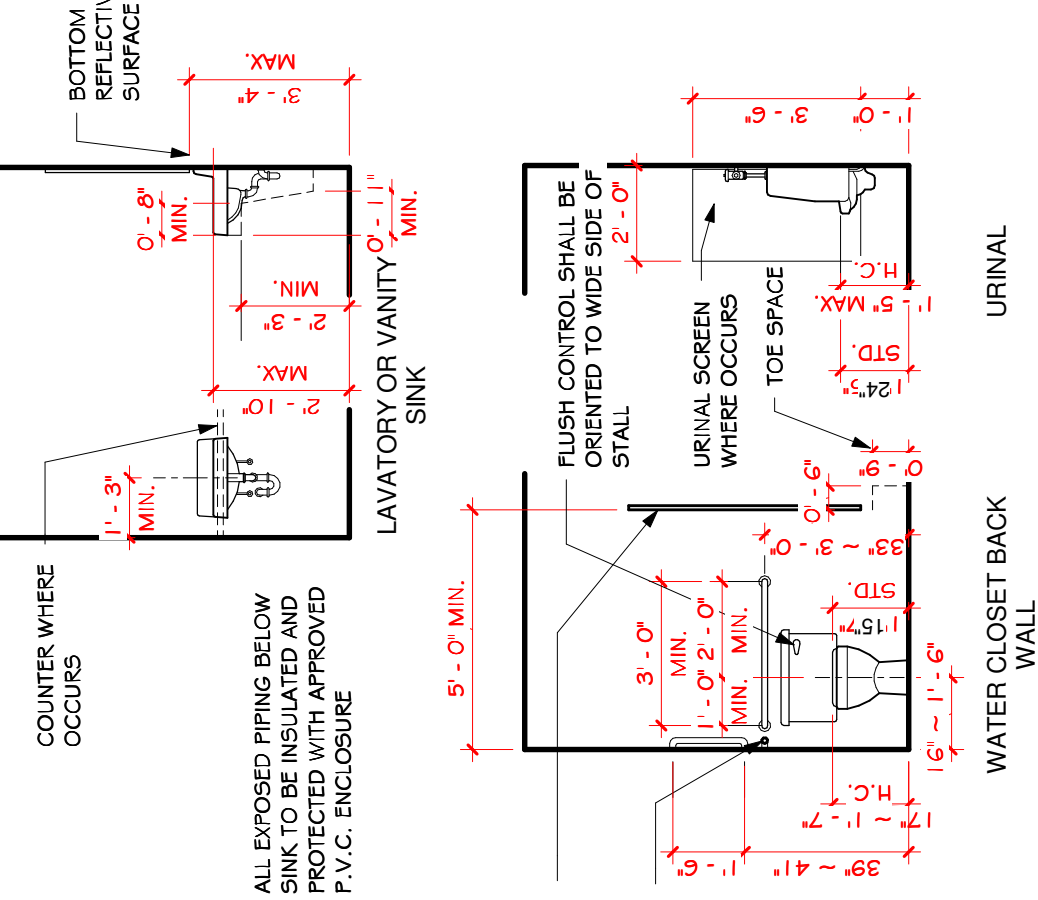
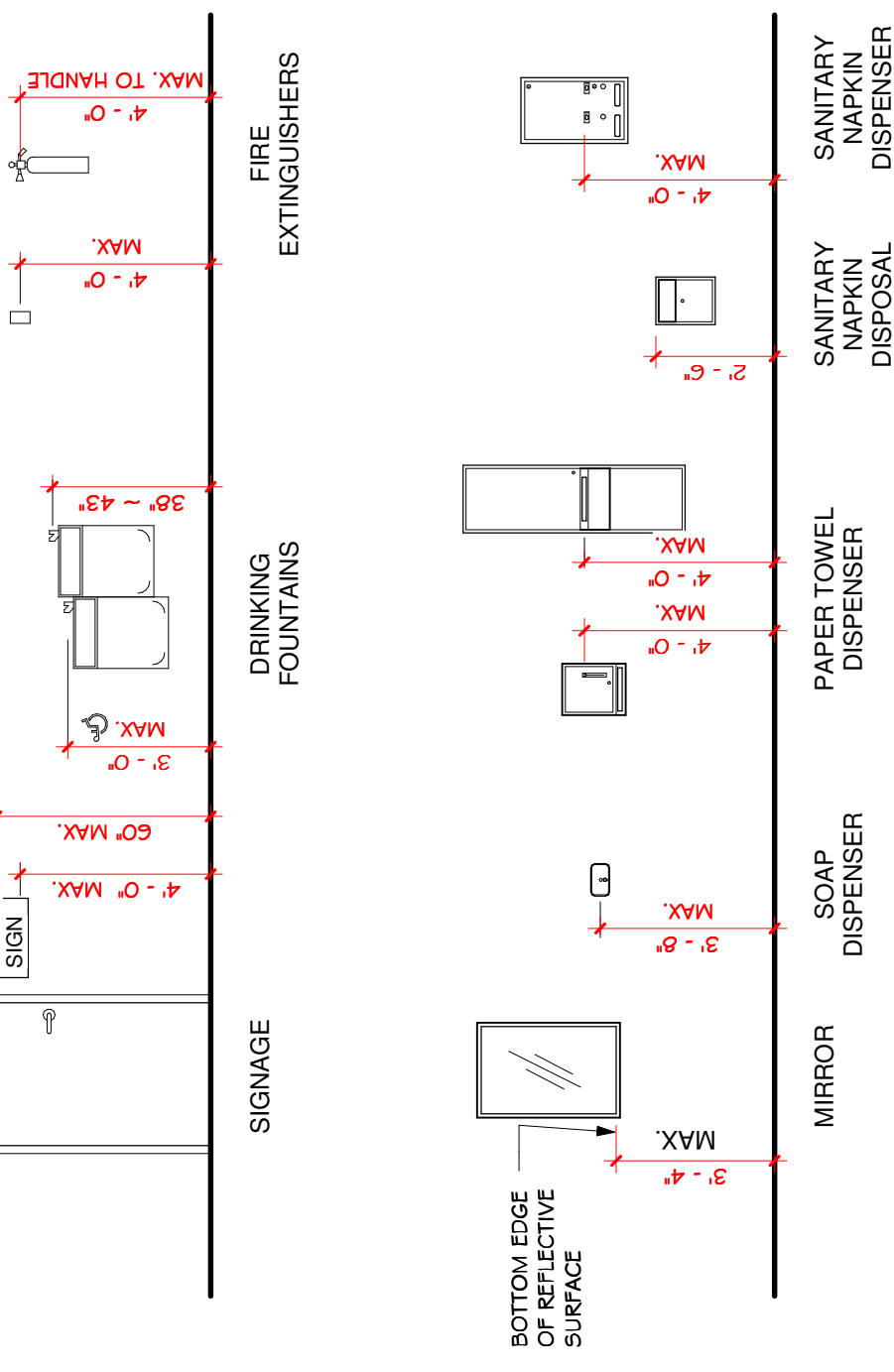


1 BLDG 5 AREA / LIFE SAFETY PLAN
 SCALE = 1/8" = 1'-0"

LIFE SAFETY PLAN LEGEND
 EXIT SIGN
 FIRE EXTINGUISHER
 PATH OF TRAVEL
 0'-0"

TYPICAL MOUNTING HEIGHTS

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PROJECT TEAM DATA

ARCHITECT:
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 PH: (479) 444-6066
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CONSULTANTS:
STRUCTURAL:
MECHANICAL:
CIVIL:

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BY: DATE:

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 PH: 479.444.6066 FAX: 479.444.1445

KEY ARCHITECTURE INC.



FOR CUP APPROVAL

Rev. #	Date	Description

Revision Schedule

Pat Tobin
 1730 FAYETTEVILLE, AR 72703
 2901 N. Tobin Ln.
 Fayetteville, AR 72703

DRAWN BY: AIH
CHECKED BY: HFM
PROJECT #: 1730
DATE: 10-05-17

SHEET
A0.0
 BLDG 5 - COVER SHEET

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FOR CUP
 APPROVAL

Revision Schedule	Rev. #	Date	Description

PJT-OLD WIRE SERVICE & REC. - BLDG 5
 OLD WIRE RD. (WC 87)
 FAYETTEVILLE, AR 72703

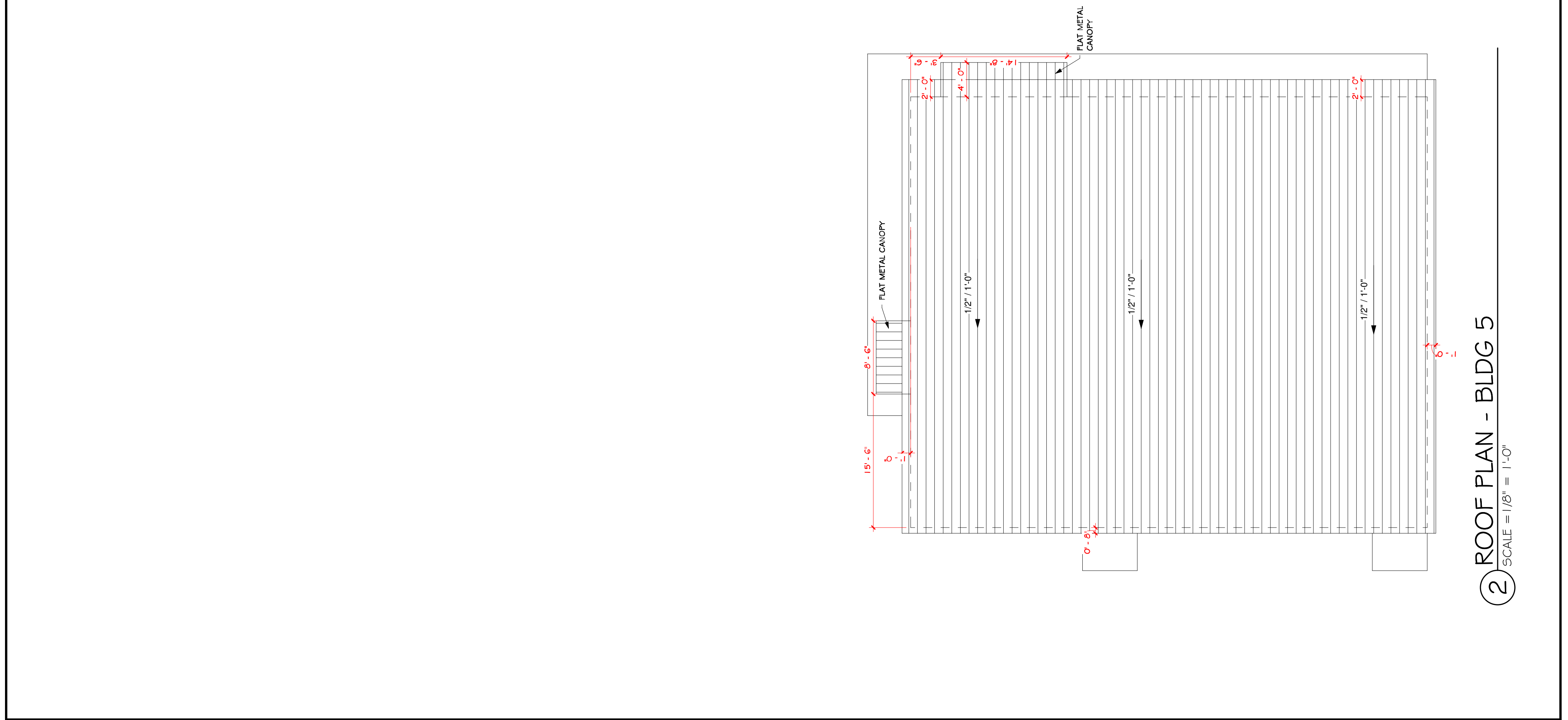
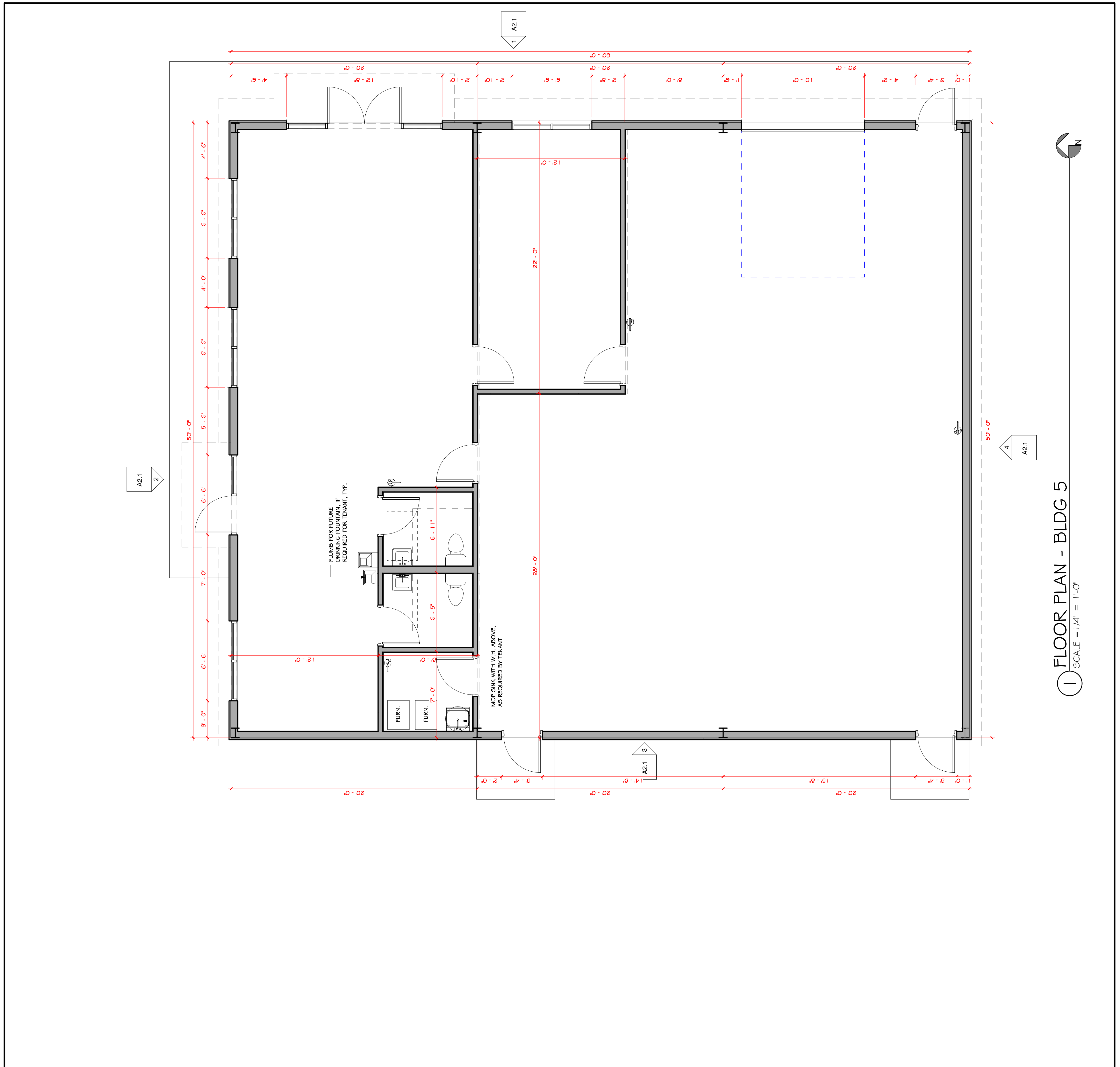
DATE	10-06-17
DRAWN BY	AMH
PROJECT #	1730
CHECKED BY	HFM

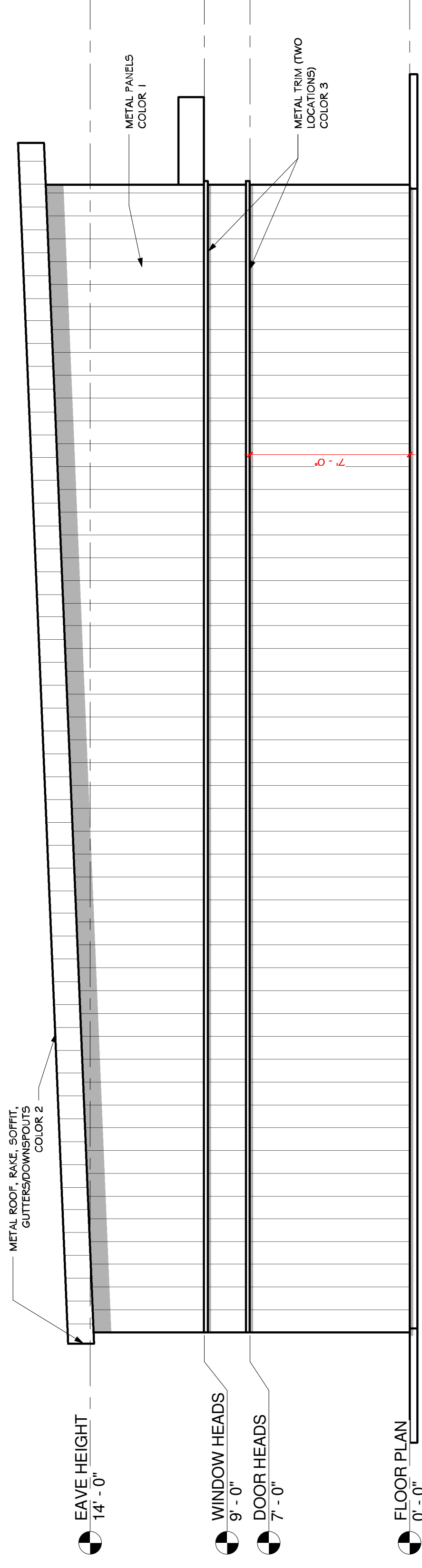
Pat Tobin
 2901 N. Tobin Ln.
 Fayetteville, AR 72703

A1.1
 SHEET

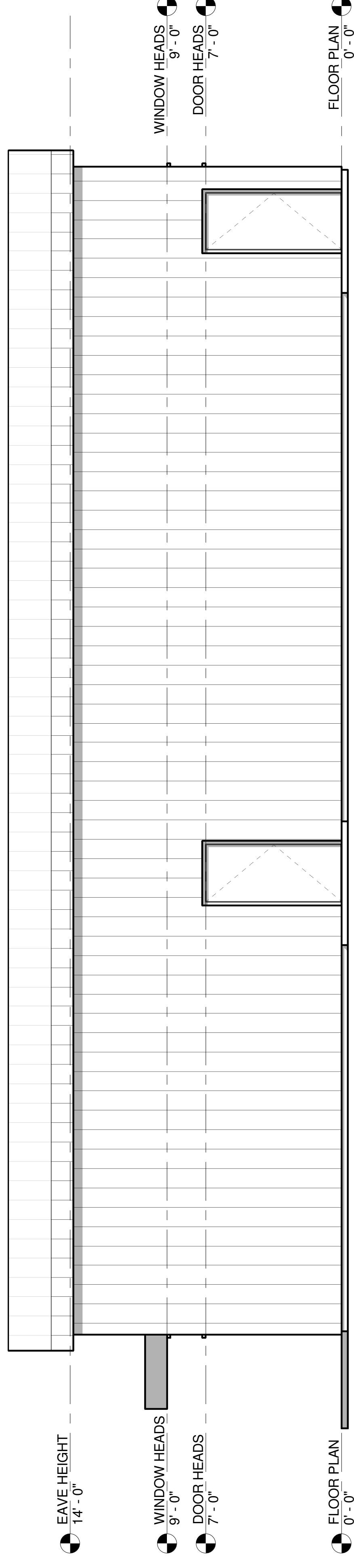
BLDG 5 FLOOR ROOF PLAN

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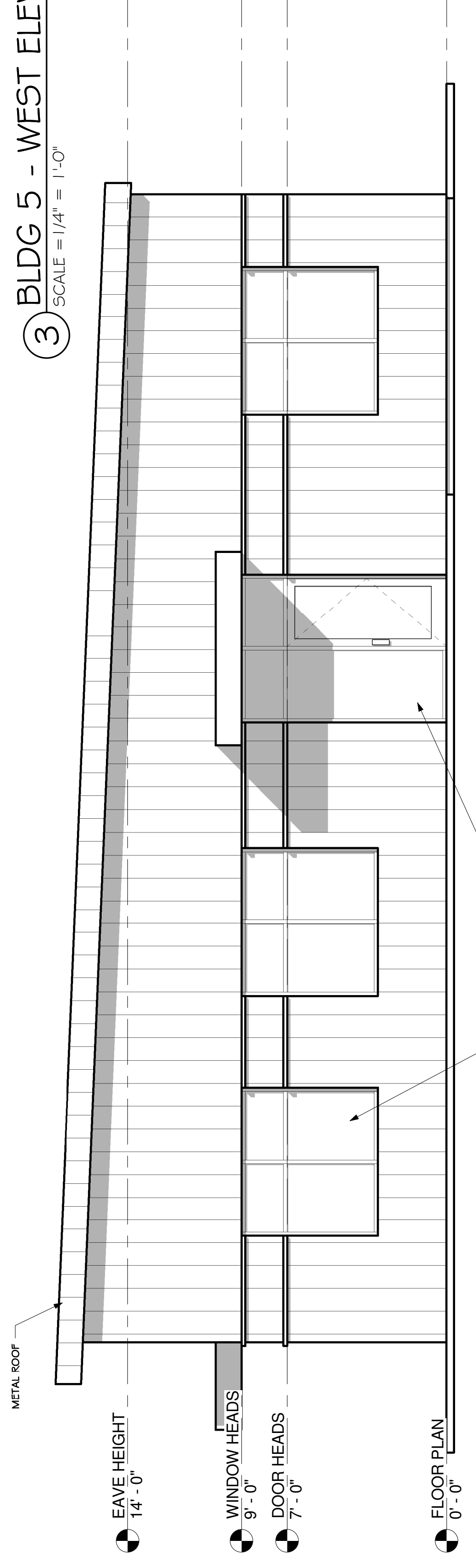




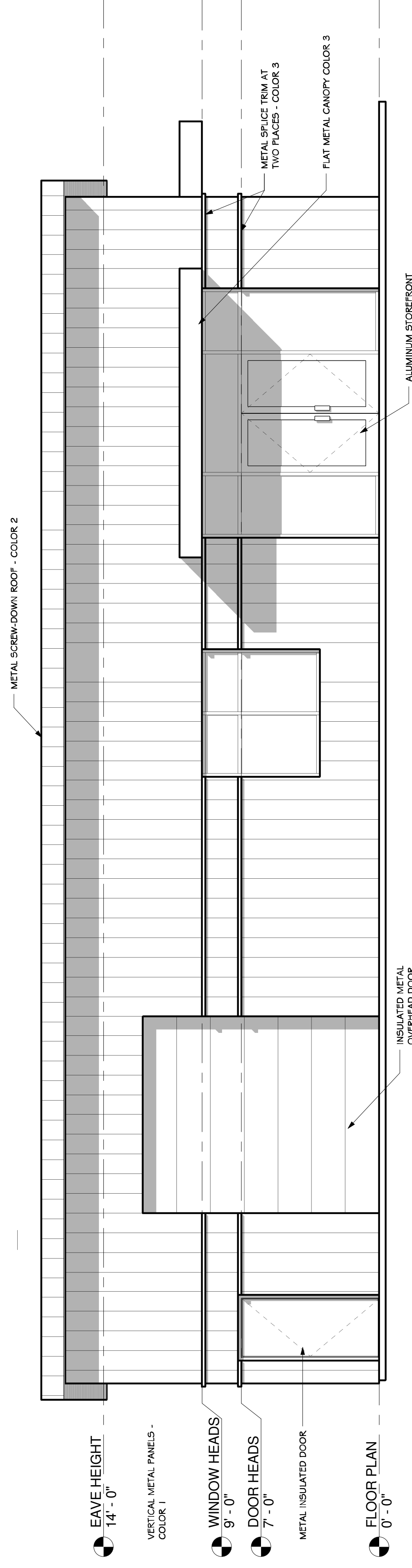
4 BLDG 5 - SOUTH ELEVATION
SCALE = 1/4" = 1'-0"



3 BLDG 5 - WEST ELEVATION
SCALE = 1/4" = 1'-0"



2 BLDG 5 - NORTH ELEVATION
SCALE = 1/4" = 1'-0"



1 BLDG 5 - EAST ELEVATION
SCALE = 1/4" = 1'-0"

COLOR 1 ASH GRAY
COLOR 2 CHARCOAL GRAY
COLOR 3 POLAR WHITE

SEAL



KEY ARCHITECTURE INC.
P.O. BOX 748 FAYETTEVILLE, ARKANSAS 72702
PH: 479.444.6066 FAX: 479.444.1445

FOR CUP
APPROVAL

Revision Schedule	Rev. #	Date	Description

PT-OLD WIRE SERVICE & REC. - BLDG 5
FAYETTEVILLE, AR 72703
Pat Tobin
8901 N. Tobin Ln.
Fayetteville, AR 72703

DATE 10-06-17
DRAWN BY AMH
PROJECT # 1730
CHECKED BY HFM
SHEET

A2.1
BLDG 5 ELEVATIONS

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1730 PJT-OLD WIRE SERVICE & REC. - BLDG 6

OLD WIRE RD. (WC 87)

FAYETTEVILLE, AR 72703

CODE AND PROJECT DEVELOPMENT DATA - BLDG 6

BUILDING CODE:
 2012 ARKANSAS FIRE PREVENTION CODE, VOL. II
 (2012 IBC WITH AMENDMENTS)
 2014 NATIONAL ELECTRICAL CODE
 2006 ARKANSAS PLUMBING CODE
 2006 ARKANSAS STATE FUEL & GAS CODE
 2009 ARKANSAS ENERGY CODE
 2011 ARKANSAS ENERGY CODE
 2009 ANSI A-117.1

OCCUPANCY:
 B-BUSINESS UNSPRINKLERED

TYPE CONSTRUCTION:
 II-B
 NONCOMBUSTIBLE-0 HR
 STRUCTURAL FRAME
 INTERIOR FINISHES
 EXTERIOR NON-BEARING WALLS
 INTERIOR NON-BEARING WALLS
 ROOF/CEILING
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR

ALLOWABLE HEIGHT & BUILDING AREA:

ALLOWABLE SF PER FLOOR = 23,000 sf
 ALLOWABLE # FLOORS = 3 FLOORS
 TOTAL AREA:
 HEATED - 3,000 sf
 UNHEATED - 92 sf

TOTAL OCCUPANTS:
 B-BUSINESS, 100 GROSS = 3,000 sf / 100 sf = 30 PEOPLE

EGRESS REQUIREMENT:
 TENANT IN PEOPLE x 7' / PERSON = 6' REQUIRED
 5 DOORS x 36' = 180' PROVIDED

TRAVEL DISTANCE ALLOWED:

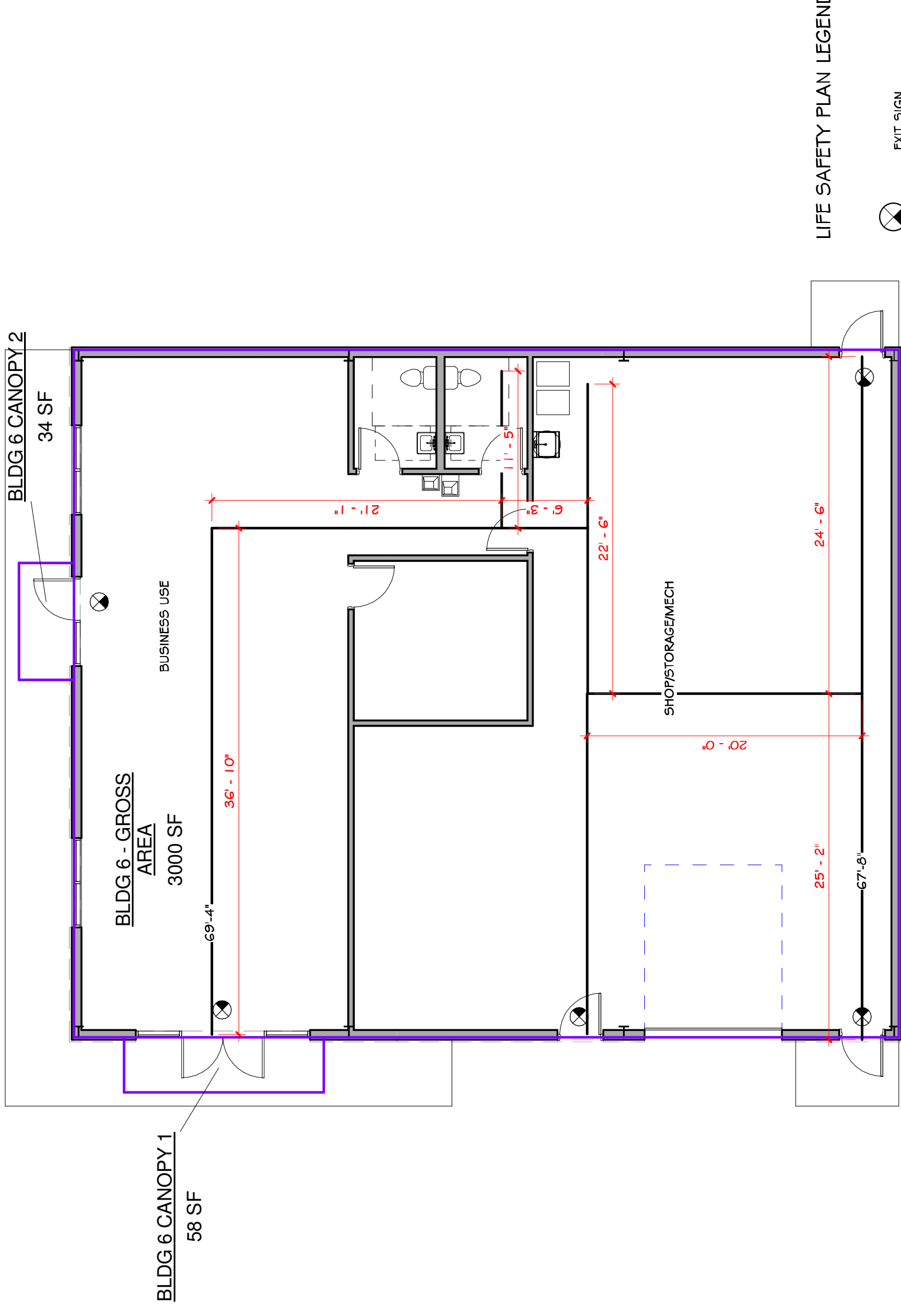
B-BUSINESS, UNSPRINKLERED
 200'

FIRE SEPARATION DISTANCES:

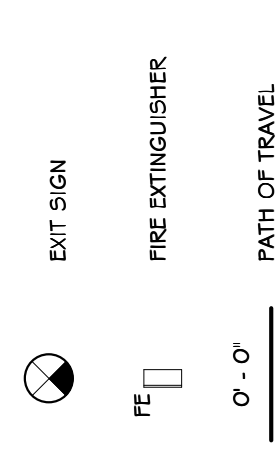
NORTH -<30'
 EAST -<30'
 SOUTH -<30'
 WEST -<30'

REQUIRED PLUMBING FIXTURES:

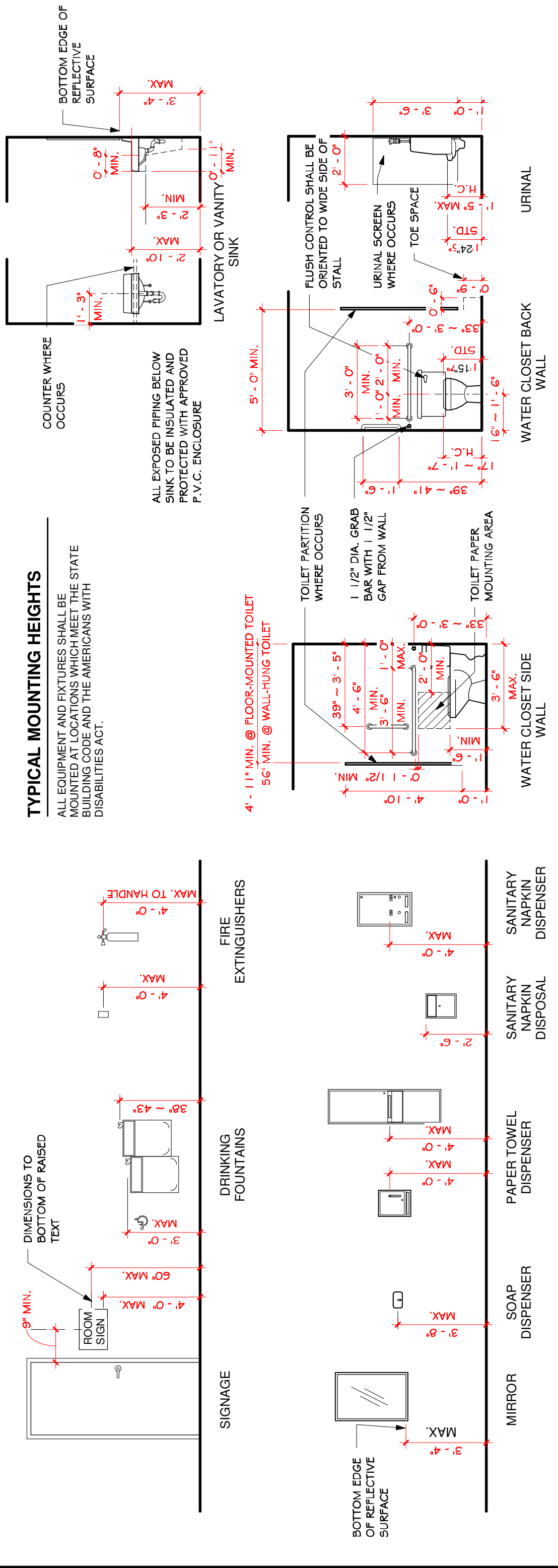
*WATER CLOSETS: 1 PER 25 EA. FOR THE FIRST 50
 30/25 = 1 EA., 1 EA. PROVIDED
 LAVATORIES: 1 PER 40 EA. FOR THE FIRST 80
 30/40 = 1 EA., 1 EA. PROVIDED
 DRINKING FOUNTAINS: 1 PER 100
 30/100 = 1, 1 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED



LIFE SAFETY PLAN LEGEND



1 BLDG 6 AREA / LIFE SAFETY PLAN
 SCALE = 1/8" = 1'-0"



PROJECT TEAM DATA

ARCHITECT:
 KEY ARCHITECTURE INC.
 P.O. BOX 748
 FAYETTEVILLE, ARKANSAS 72702
 PH: (479) 444-6066
 FAX: (479)444-1445

CONSULTANTS

STRUCTURAL:
MECHANICAL:
CIVIL:

IT IS EXPRESSLY UNDERSTOOD THAT THE ARCHITECT SHALL NOT PERFORM CONSTRUCTION MANAGEMENT SERVICES UNLESS SPECIFICALLY STATED IN THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE LIABLE TO THE CLIENT AS ADDITIONAL SERVICES, ACCORDINGLY, THE ARCHITECT SHALL NOT BE LIABLE TO THE CLIENT, TO THE OWNER OR TO ANY PARTY WORKING FOR OR THROUGH THE CLIENT OR THE OWNER, FOR ERRORS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS, WHICH ARE, OR WHICH UPON THE EXERCISE OF REASONABLE CARE SHOULD HAVE BEEN DISCOVERED DURING THE PERFORMANCE OF THE ARCHITECT'S PROFESSIONAL SERVICES, INCLUDING BUT NOT LIMITED TO THE OWNER OR TO ANY PARTY WORKING FOR OR THROUGH THE CLIENT OR THE OWNER, FOR ANY CHANGES IN DESIGN OR CONSTRUCTION MADE DURING CONSTRUCTION WITH-OUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT. THE CLIENT AND/OR THE OWNER SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM AND AGAINST ANY AND ALL CLAIMS OR DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, OF ANY KIND, WHICH MAY BE ASSERTED AGAINST OR INCURRED BY THE ARCHITECT OR THE OWNER OR CONTRACTOR, AND WHICH ARE NOT BROUGHT TO THE ARCHITECT'S ATTENTION FOR REVIEW AND ACTION BEFORE FURTHER WORK IS PERFORMED. b) ARISING FROM CHANGES IN CONSTRUCTION AND/OR DESIGN NOT APPROVED IN WRITING BY THE ARCHITECT; AND/OR c) FOR ERRORS OR OMISSIONS OF THE CONTRACTOR OR OF OTHER CONSULTANTS TO THE CLIENT AND/OR OWNER.

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE ARKANSAS FIRE PREVENTION CODE FOR THE STATE OF ARKANSAS, WITH THE REQUIREMENTS OF THE MUNICIPAL AUTHORITY AND ALL FEDERAL REGULATIONS.

BY: _____ DATE: _____

FOR CUP APPROVAL

Rev. #	Date	Description

PT-OLD WIRE SERVICE & REC. - BLDG 6
 OLD WIRE RD. (WC 87)
 FAYETTEVILLE, AR 72703

DRAWN BY: Pat Tobin
 CHECKED BY: Pat Tobin
 PROJECT # 1730
 SHEET A0.0

DATE: 10-06-17
 DRAWN BY: Pat Tobin
 CHECKED BY: Pat Tobin
 PROJECT # 1730
 SHEET A0.0

BLDG 6 - COVER SHEET

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KEY ARCHITECTURE INC.
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 PH: 479.444.6066 FAX: 479.444.1445

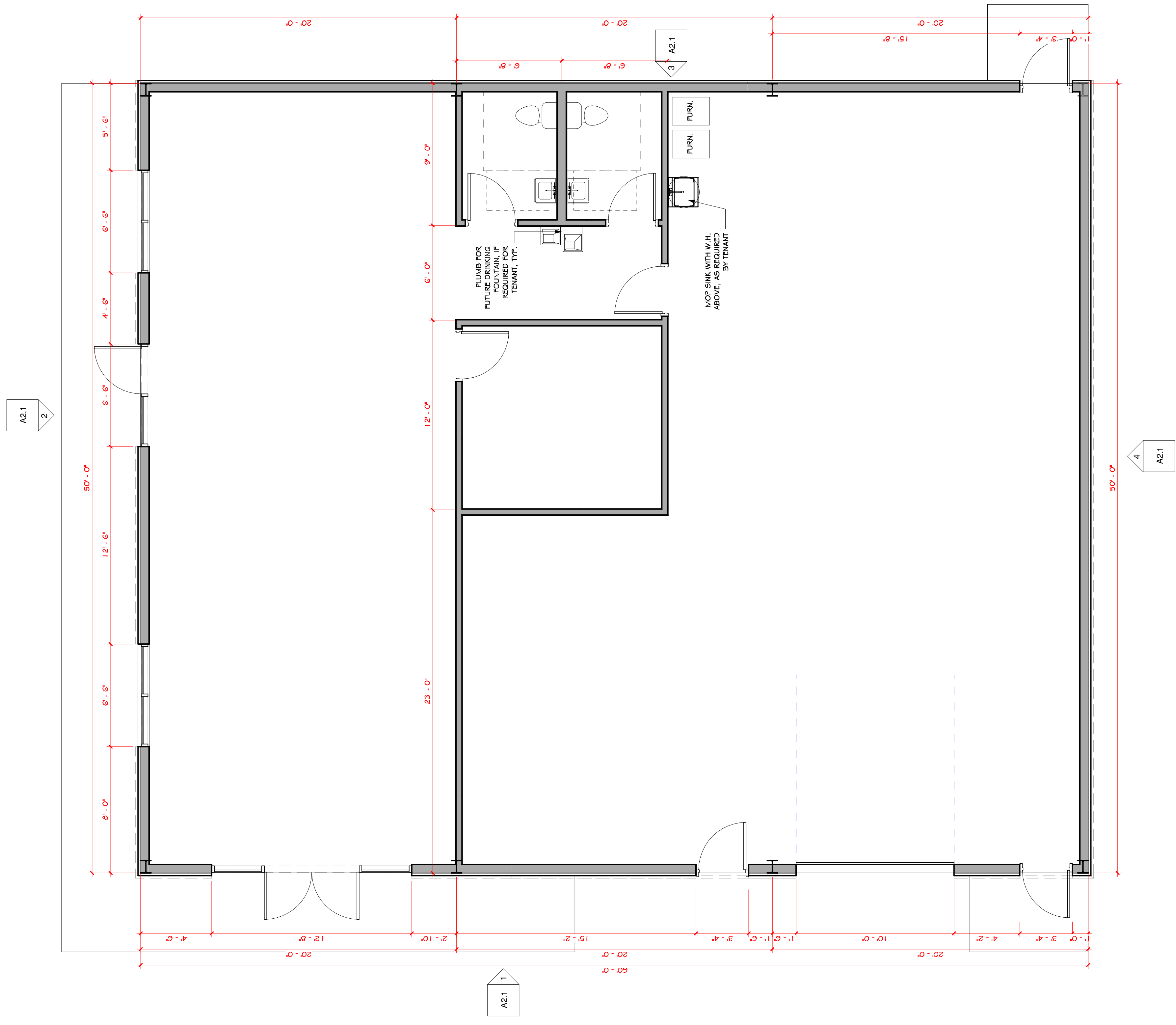
FOR CUP APPROVAL

Revision Schedule	Rev. #	Date	Description

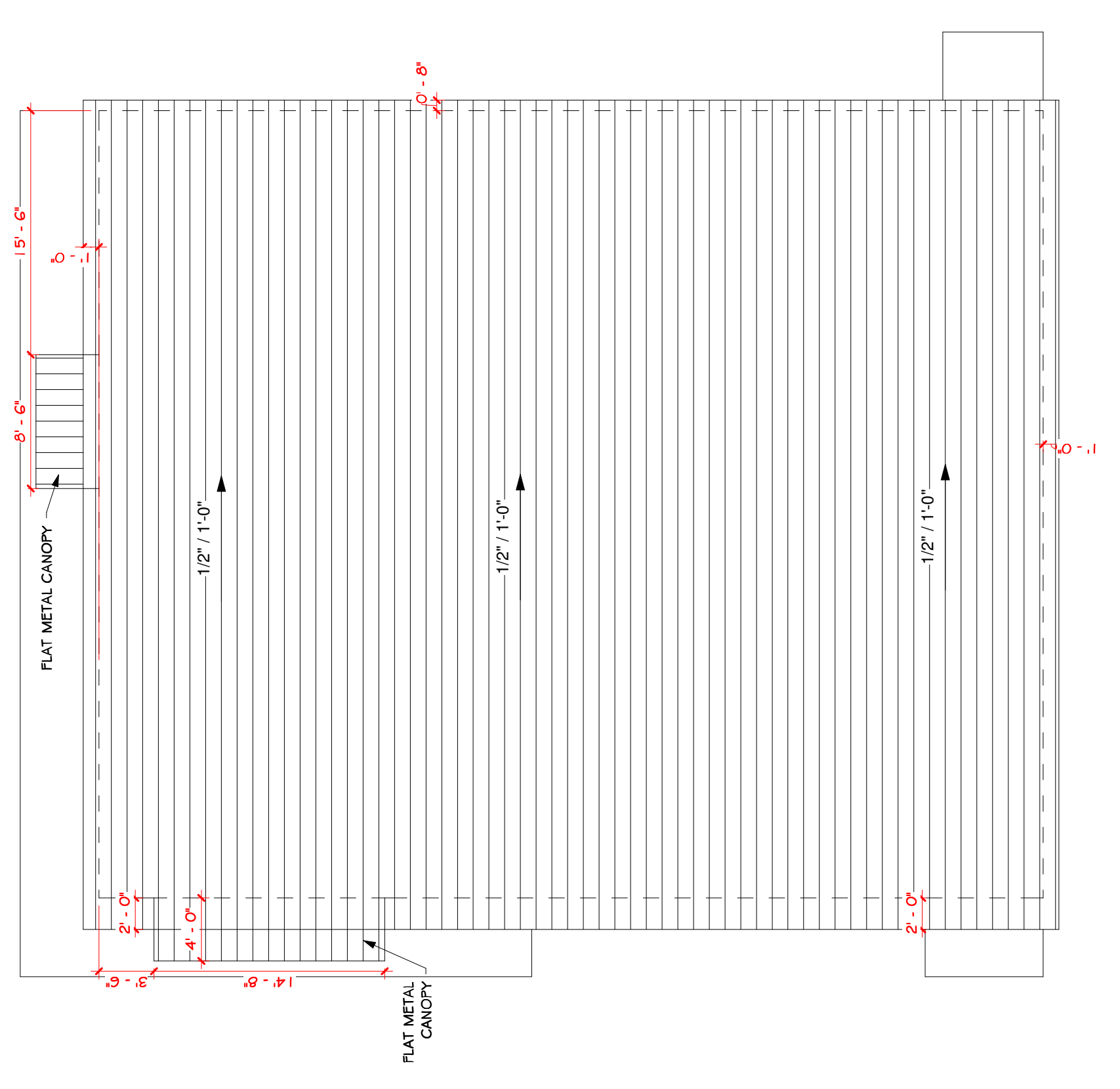
PJT-OLD WIRE SERVICE & REC. - BLDG 6
 OLD WIRE RD. (WC 87)
 FAYETTEVILLE, AR 72703
 Pat Tobin
 2901 N. Tobin Ln.
 Fayetteville, AR 72703

DATE	10-06-17
DRAWN BY	AMH
PROJECT #	1730
CHECKED BY	HFH

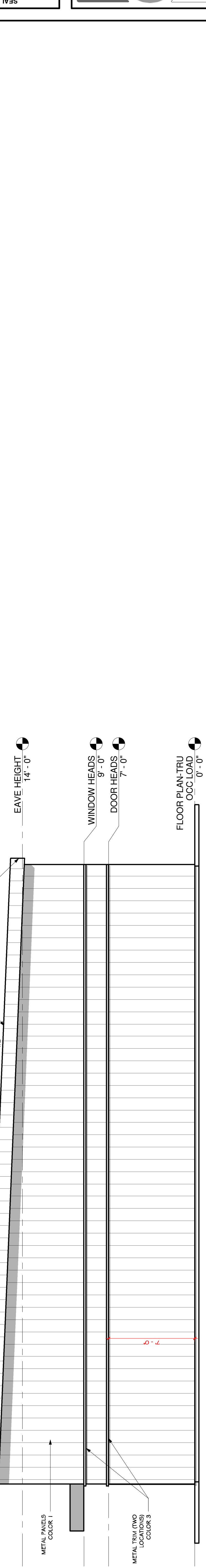
SHEET
A1.1
 BLDG 6 FLOOR ROOF PLAN
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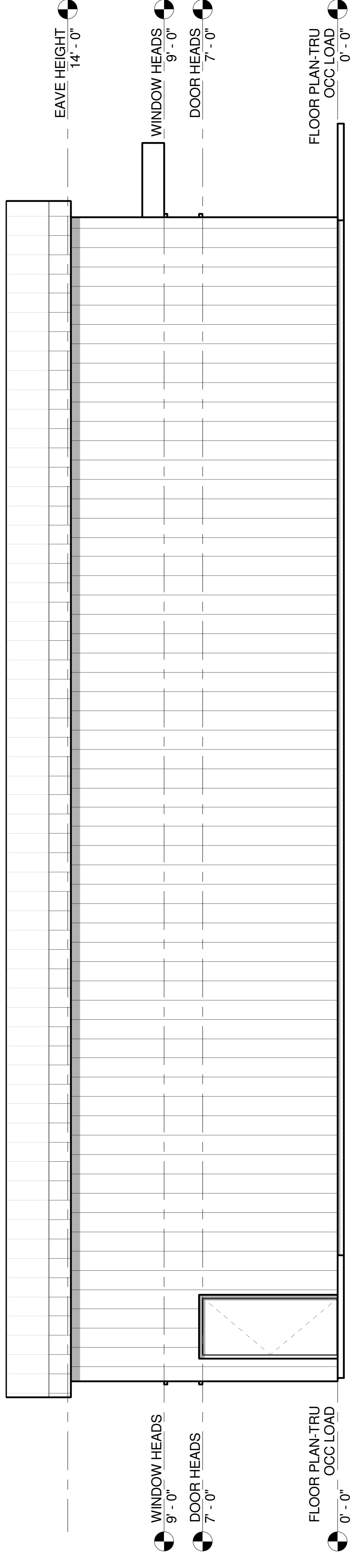
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 SCALE = 1/4" = 1'-0"



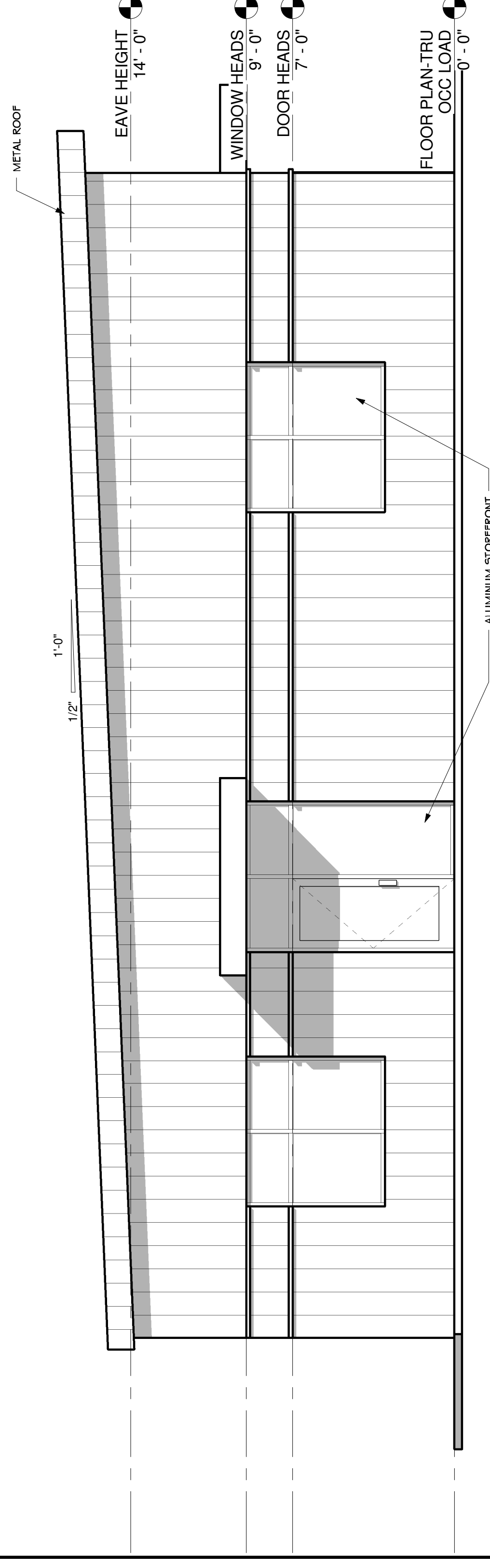
2 ROOF PLAN - BLDG 6
 SCALE = 1/8" = 1'-0"



4 BLDG 6 - SOUTH ELEVATION
SCALE = 1/4" = 1'-0"



3 BLDG 6 - EAST ELEVATION
SCALE = 1/4" = 1'-0"



2 BLDG 6 - NORTH ELEVATION
SCALE = 1/4" = 1'-0"



1 BLDG 6 - WEST ELEVATION
SCALE = 1/4" = 1'-0"

COLOR 1 ASH GRAY
COLOR 2 CHARCOAL GRAY
COLOR 3 POLAR WHITE

SEAL

KEY ARCHITECTURE INC.
P.O. BOX 748 FAYETTEVILLE, ARKANSAS 72702
PH: 479.444.6066 FAX: 479.444.1445

FOR CUP
APPROVAL

Revision Schedule	Rev. #	Date	Description

PJT-OLD WIRE SERVICE & REC. - BLDG 6
OLD WIRE RD. (WC 87)
FAYETTEVILLE, AR 72703
Pat Tobin
2901 N. Tobin Ln.
Fayetteville, AR 72703

DATE	DRAWN BY	PROJECT #	CHECKED BY
10-06-17	AJH	1730	HFM

SHEET
A2.1
BLDG 6 ELEVATIONS

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1730 PJT-OLD WIRE SERVICE & REC. - BLDG 7

OLD WIRE RD. (WC 87)

FAYETTEVILLE, AR 72703

CODE AND PROJECT DEVELOPMENT DATA - BLDG 7

BUILDING CODE:

2012 ARKANSAS FIRE PREVENTION CODE, VOL. II
 (2012 IBC WITH AMENDMENTS)
 2014 NATIONAL ELECTRICAL CODE
 2006 ARKANSAS PLUMBING CODE
 2006 ARKANSAS STATE FUEL & GAS CODE
 2006 ARKANSAS MECHANICAL CODE
 2011 ARKANSAS ENERGY CODE
 2009 ANSI A-117.1

OCCUPANCY

B-BUSINESS UNSPRINKLERED

TYPE CONSTRUCTION:

II-B

STRUCTURAL FRAME
 STAIRS OR ESCALATOR WALLS
 EXTERIOR NON-BEARING WALLS
 INTERIOR NON-BEARING WALLS
 ROOF/CEILING

NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR

ALLOWABLE HEIGHT & BUILDING AREA:

ALLOWABLE SF PER FLOOR = 23,000 sf
 ALLOWABLE # FLOORS = 3 FLOORS

TOTAL AREA:
 HEATED - 2,500 sf
 UNHEATED - 92 sf

TOTAL OCCUPANTS: 25 PEOPLE

B-BUSINESS, 100 GROSS = 2,500 sf / 100 sf = 25 PEOPLE

EGRESS REQUIREMENT:

25 PEOPLE x .7 / PERSON = 18.0 REQUIRED
 5 DOORS x .36' = 1.80 PROVIDED

TRAVEL DISTANCE ALLOWED:

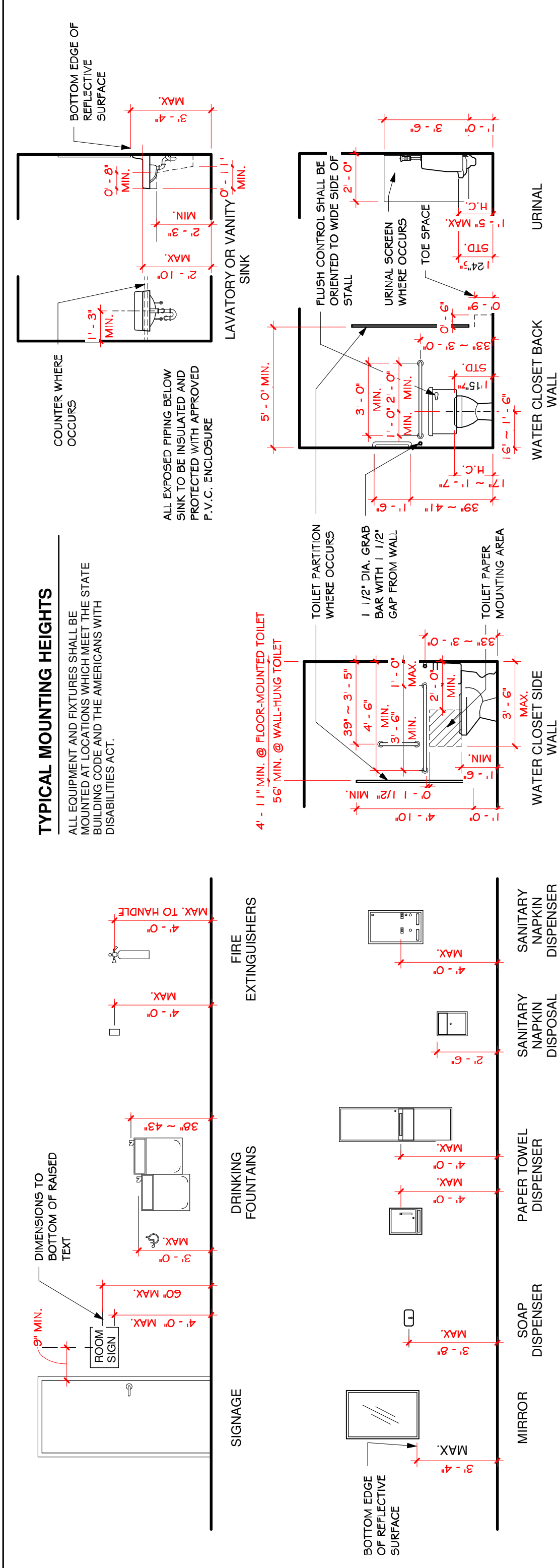
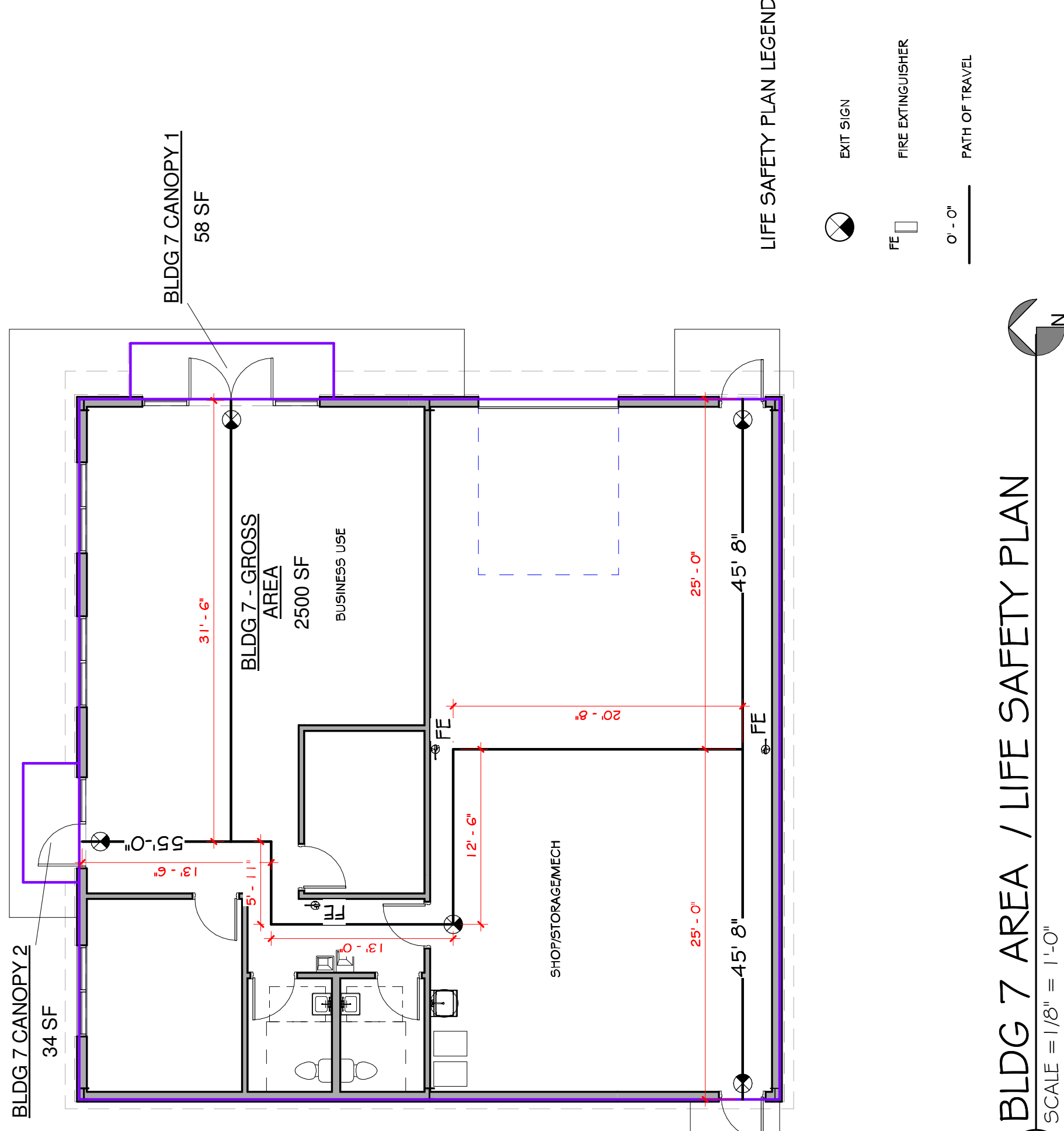
B-BUSINESS, UNSPRINKLERED

FIRE SEPARATION DISTANCES:

NORTH -30'
 EAST -30'
 SOUTH -30'
 WEST -30'

REQUIRED PLUMBING FIXTURES:

*WATER CLOSETS: 1 PER 25 EA. FOR THE FIRST 50 1 EA., 1 EA. PROVIDED
 25/25 = 1 PER 25 EA. FOR THE FIRST 50 1 EA., 1 EA. PROVIDED
 LAVATORIES: 1 PER 40 FOR THE FIRST 80 1 EA., 1 EA. PROVIDED
 25 / 40 = 1 PER 100 1 EA., 1 EA. PROVIDED
 DRINKING FOUNTAINS: 1 PER 100 1.1 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED



PROJECT TEAM DATA
ARCHITECT:
 KEY ARCHITECTURE INC.
 P.O. BOX 748
 FAYETTEVILLE, ARKANSAS 72702
 315 SOUTH GREGG
 FAYETTEVILLE, ARKANSAS 72701
 PH: (479) 444-6066
 FAX: (479)444-1445

CONSULTANTS
STRUCTURAL:
MECHANICAL:
CIVIL:

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DATE	10-06-17
PROJECT #	1730
CHECKED BY	HFH
DRAWN BY	AIH
PAT TOBIN 2901 N. TOBIN LN. FAYETTEVILLE, AR 72703	
PJT-OLD WIRE SERVICE & REC. - BLDG 7 OLD WIRE RD. (WC 87) FAYETTEVILLE, AR 72703	

Rev. #	Date	Description

#	Sheet Index	Sheet Name
A0.0	BLDG 7 - COVER SHEET	
A1.1	BLDG 7 FLOOR ROOF PLAN	
A2.1	BLDG 7 ELEVATIONS	

KEY ARCHITECTURE INC.
 P.O. BOX 748 FAYETTEVILLE, ARKANSAS 72702
 PH: 479.444.6066 FAX: 479.444.1445

SEAL

FOR CUP APPROVAL

BY: DATE:

As indicated 10/5/2017 8:53:33 PM C:\Users\hannahm\OneDrive\Documents\PJT Old Wire Service and Rec.-Bldg 7_Mch\kll\k1.m

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KEY ARCHITECTURE INC.
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PH: 479.444.6066 FAX: 479.444.1445

FOR CUP
APPROVAL

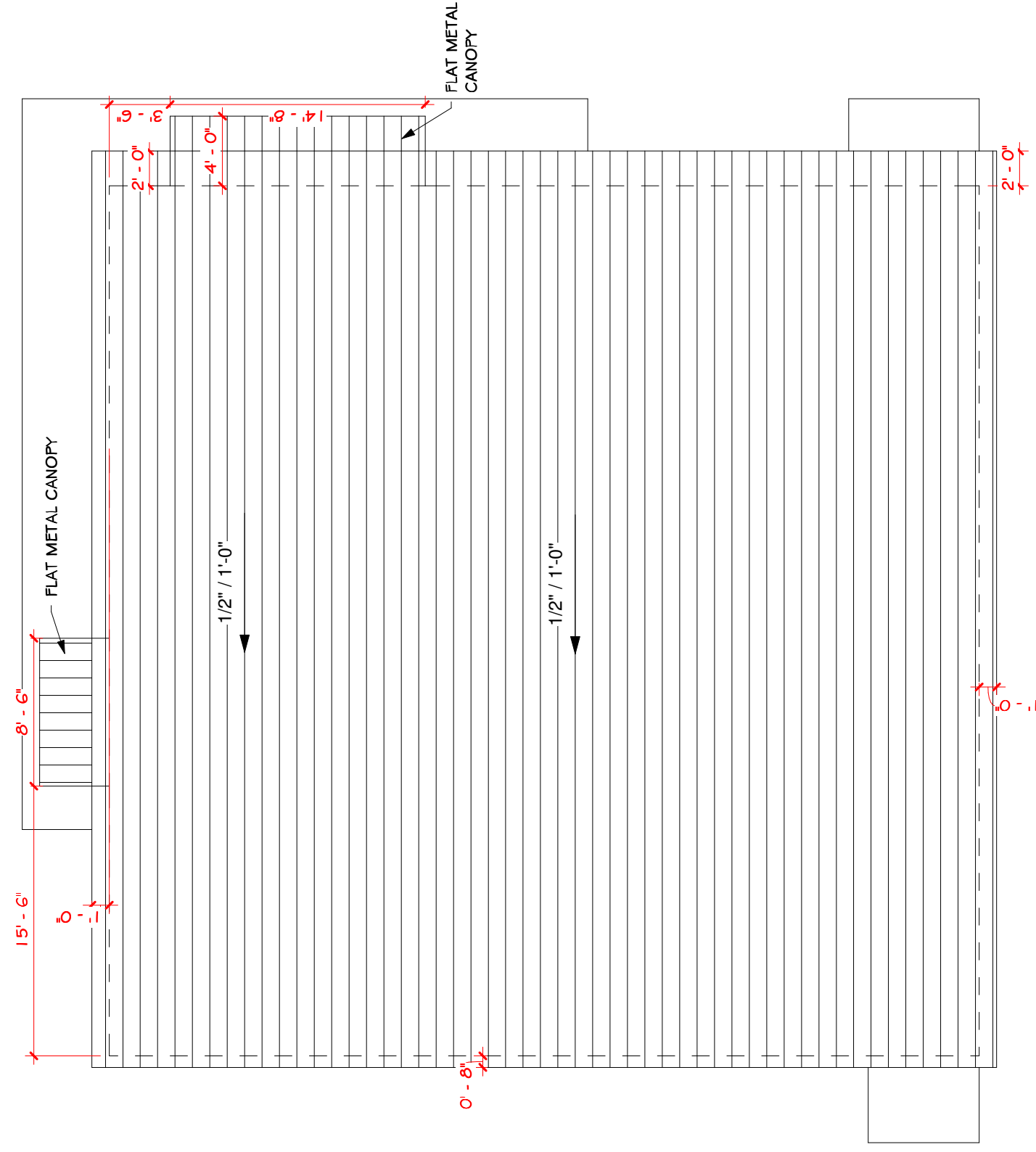
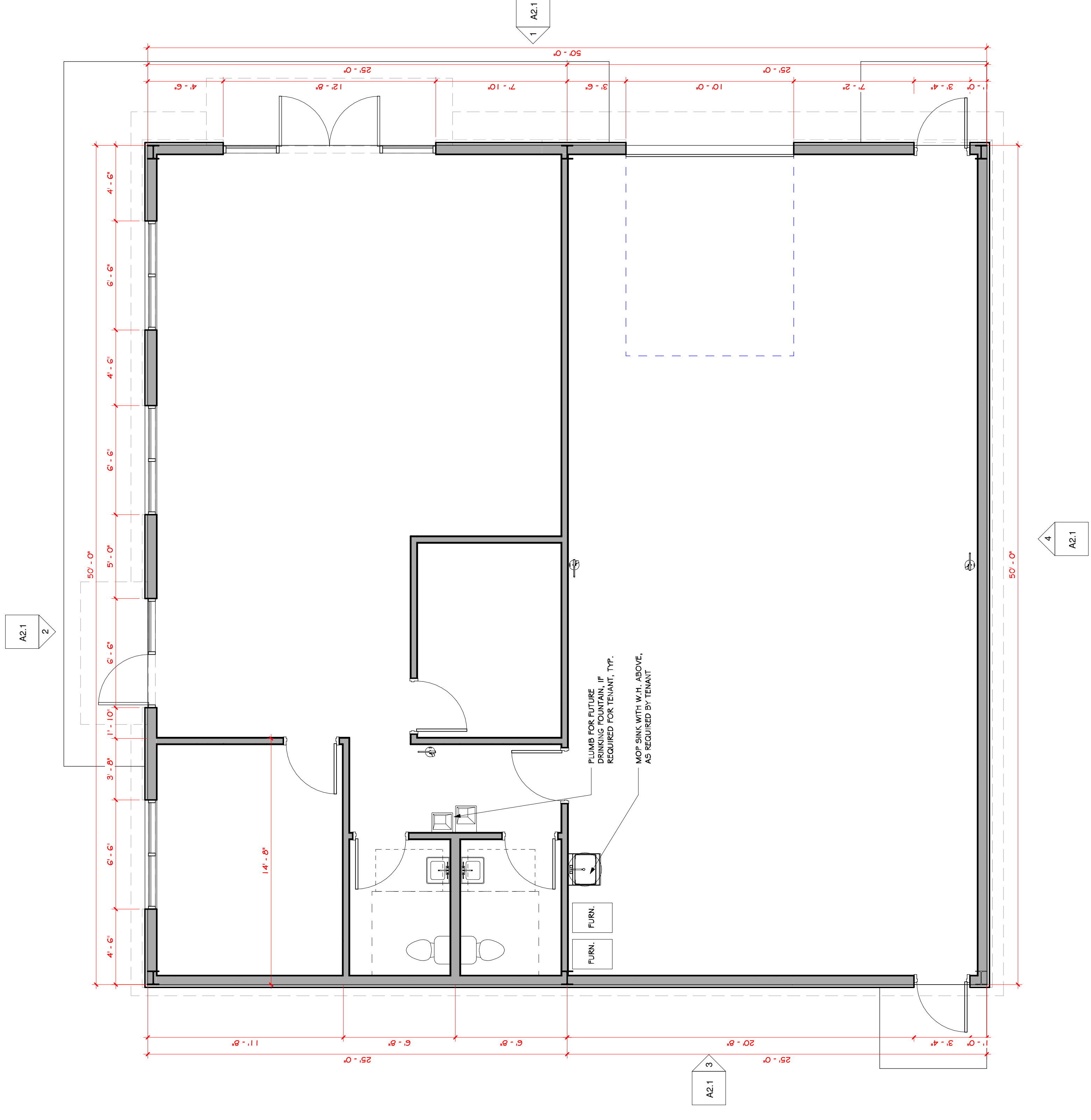
Revision Schedule	Rev. #	Date	Description

PJT-OLD WIRE SERVICE & REC. - BLDG 7
OLD WIRE RD. (WC 87)
FAYETTEVILLE, AR 72703
Pat Tobin
2901 N. Tobin Ln.
Fayetteville, AR 72703

DRAWN BY: AMH
PROJECT #: 1730
CHECKED BY: HFM
DATE: 10-06-17

SHEET
A1.1
BLDG 7 FLOOR ROOF PLAN

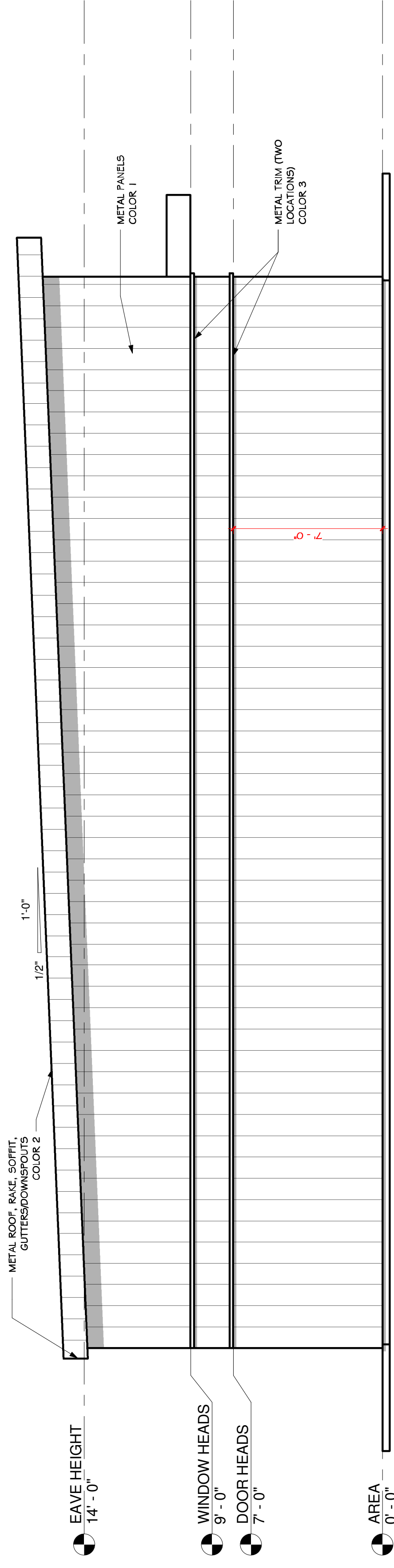
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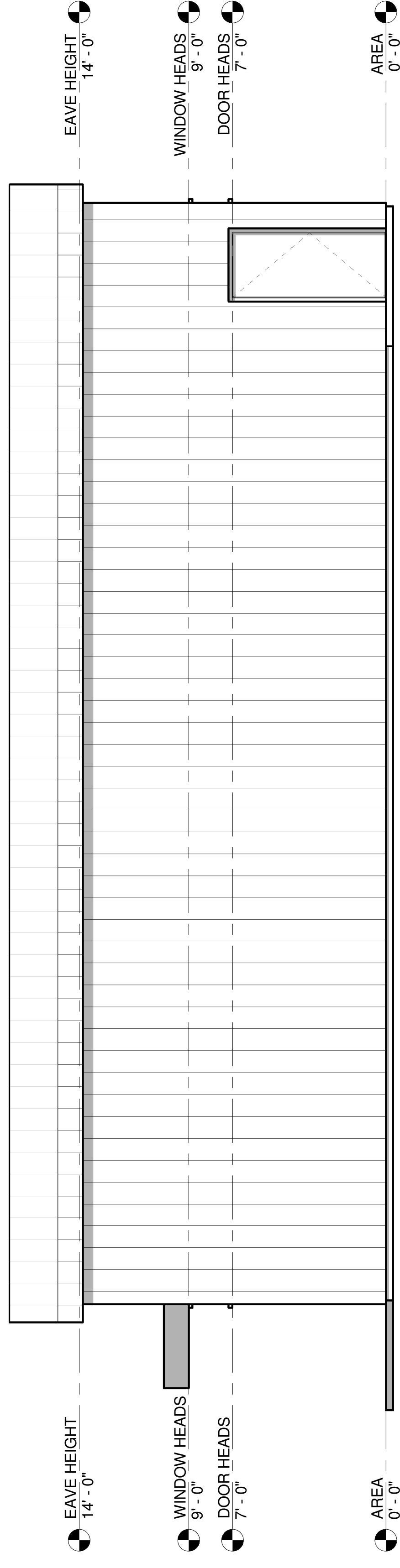
② ROOF PLAN - BLDG 7
SCALE = 1/8" = 1'-0"

① FLOOR PLAN - BLDG 7
SCALE = 1/4" = 1'-0"

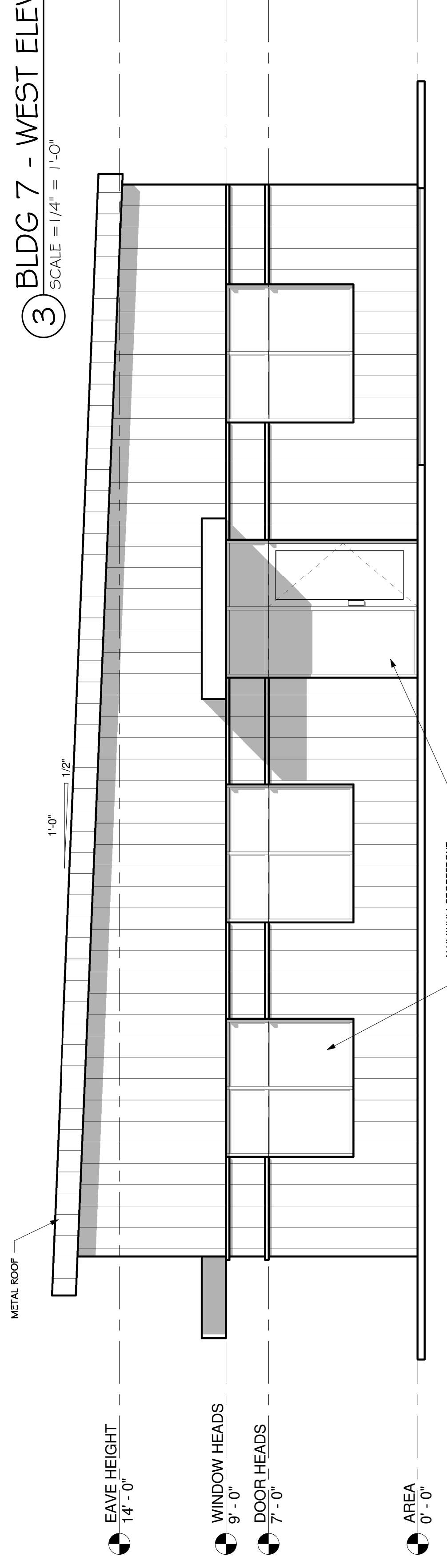




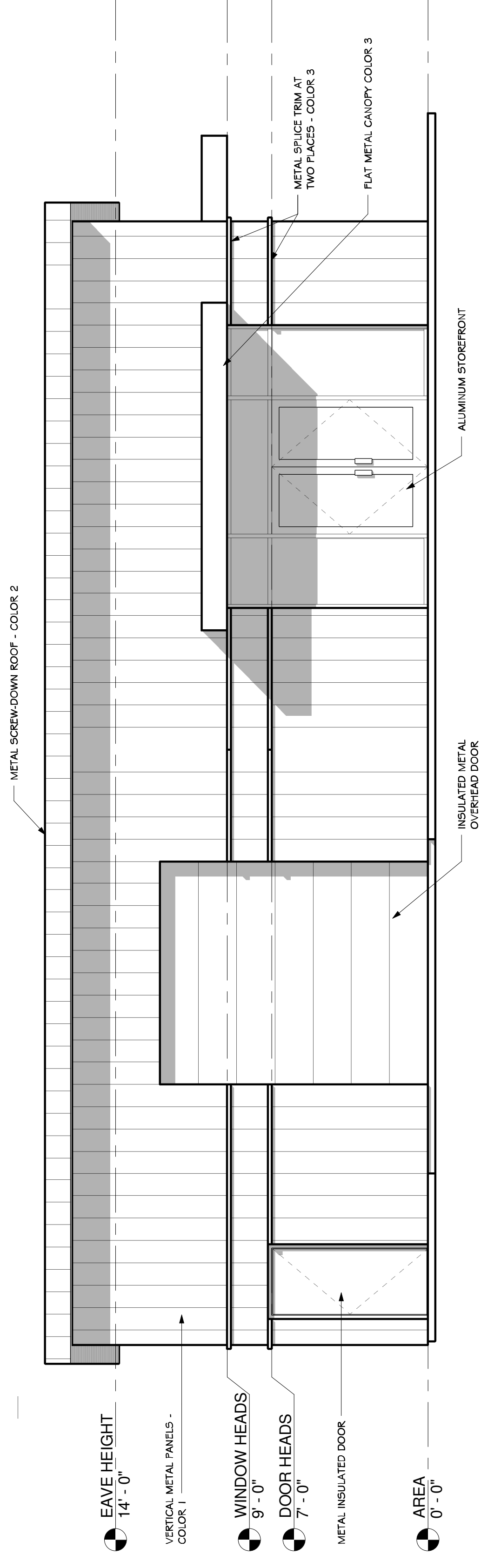
4 BLDG 7 - SOUTH ELEVATION
SCALE = 1/4" = 1'-0"



3 BLDG 7 - WEST ELEVATION
SCALE = 1/4" = 1'-0"



2 BLDG 7 - NORTH ELEVATION
SCALE = 1/4" = 1'-0"



1 BLDG 7 - EAST ELEVATION
SCALE = 1/4" = 1'-0"

COLOR 1 ASH GRAY
COLOR 2 CHARCOAL GRAY
COLOR 3 POLAR WHITE

SEAL



KEY ARCHITECTURE INC.
P.O. BOX 748 FAYETTEVILLE, ARKANSAS 72702
PH: 479.444.6066 FAX: 479.444.1445

FOR CUP
APPROVAL

Revision Schedule	Rev. #	Date	Description

PT-OLD WIRE SERVICE & REC. - BLDG 7
OLD WIRE RD. (WC 87)
FAYETTEVILLE, AR 72703
Pat Tobin
901 N. Tobin Ln.
Fayetteville, AR 72703

DATE 10-05-17
DRAWN BY AMH
PROJECT # 1730
CHECKED BY HFM
SHEET

A2.1
BLDG 7 ELEVATIONS

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1730 PJT-OLD WIRE SERVICE & REC. - BLDG 8

OLD WIRE RD. (WC 87)

FAYETTEVILLE, AR 72703

CODE AND PROJECT DEVELOPMENT DATA - BLDG 8

BUILDING CODE:
 2012 ARKANSAS FIRE PREVENTION CODE, VOL. II
 (2012 IBC WITH AMENDMENTS)
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 2006 ARKANSAS PLUMBING CODE
 2006 ARKANSAS STATE FUEL & GAS CODE
 2011 ARKANSAS ENERGY CODE
 2011 ARKANSAS ENERGY CODE
 2009 ANSI A-117.1

OCCUPANCY:
 B-BUSINESS UNSPRINKLERED

TYPE CONSTRUCTION:
 II-B
 STRUCTURAL FRAME
 INTERIOR GLAZING WALLS
 EXTERIOR NON-BEARING WALLS
 INTERIOR NON-BEARING WALLS
 ROOF/CEILING
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 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR
 NONCOMBUSTIBLE-0 HR

ALLOWABLE HEIGHT & BUILDING AREA:

ALLOWABLE SF PER FLOOR = 23,000 sf
 ALLOWABLE # FLOORS = 3 FLOORS
 TOTAL AREA:
 HEATED - 2,500 sf
 UNHEATED - 92 sf

TOTAL OCCUPANTS:
 B-BUSINESS, 100 GROSS = 2,500 sf / 100 sf = 25 PEOPLE

EGRESS REQUIREMENT:
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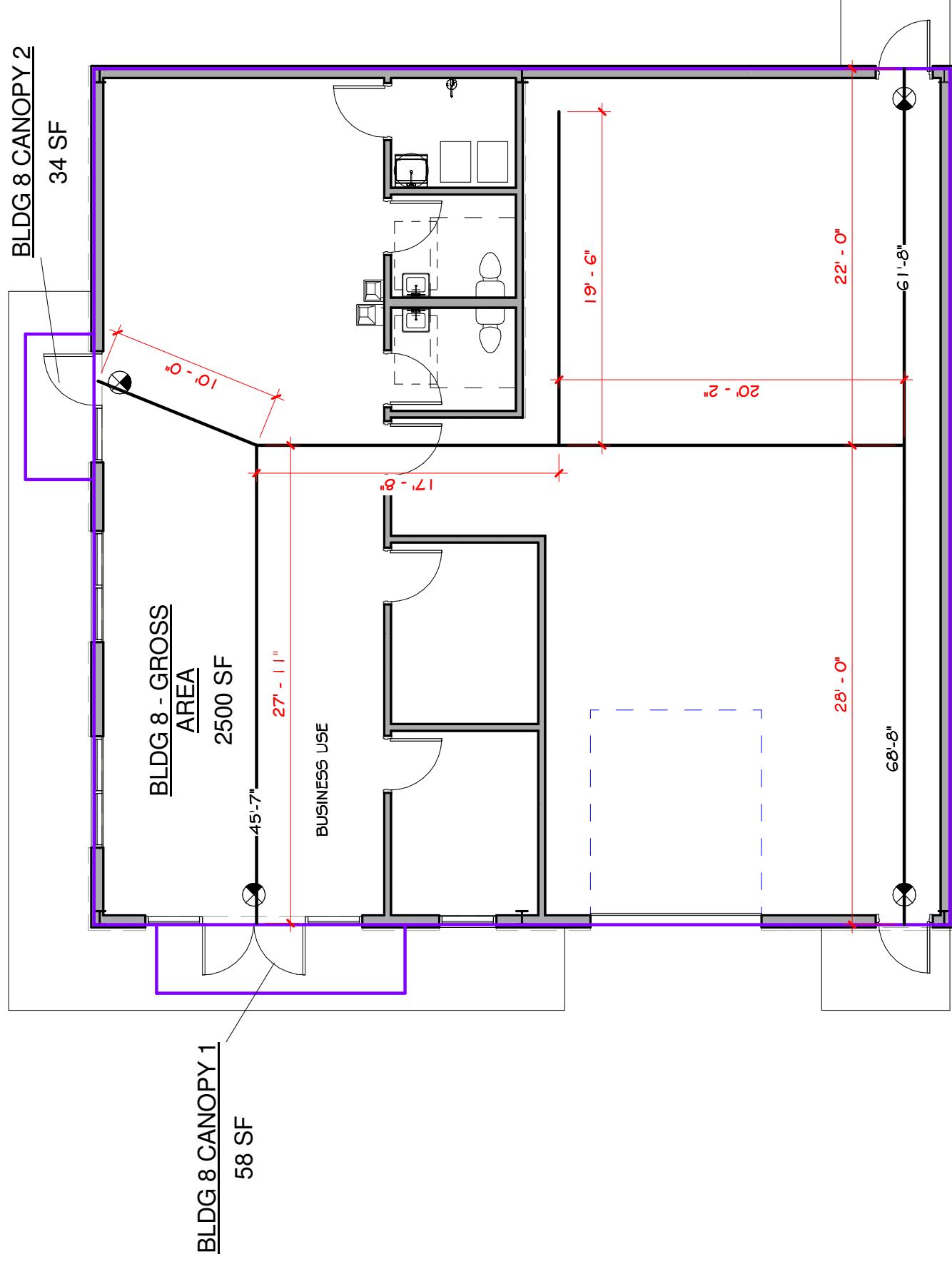
TRAVEL DISTANCE ALLOWED:

B-BUSINESS, UNSPRINKLERED

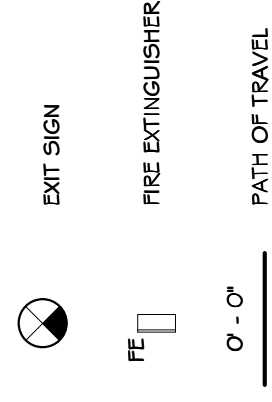
FIRE SEPARATION DISTANCES:
 NORTH -30'
 EAST -30'
 SOUTH -30'
 WEST -30'

REQUIRED PLUMBING FIXTURES:

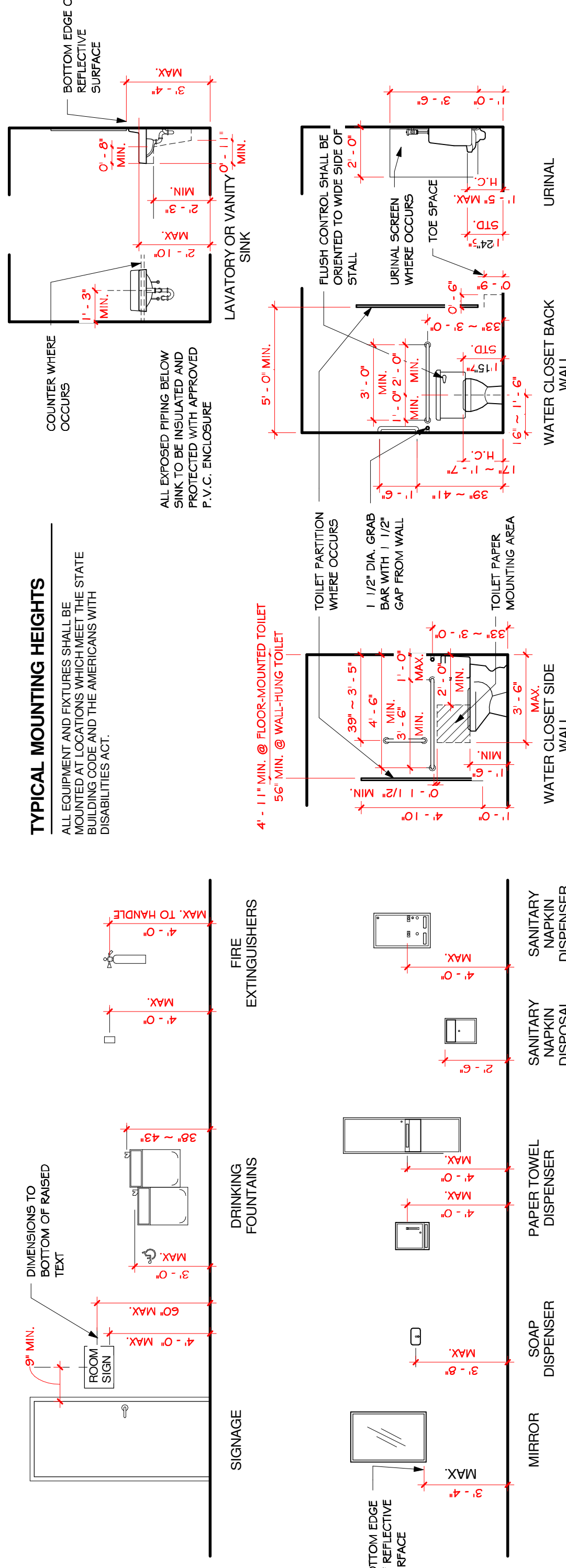
*WATER CLOSETS: 1 PER 25 EA. FOR THE FIRST 50 1 EA., 1 EA. PROVIDED
 25/25 = 1 PER 25 EA. FOR THE FIRST 50 1 EA., 1 EA. PROVIDED
 LAVATORIES: 1 PER 40 EA. FOR THE FIRST 80 1 EA., 1 EA. PROVIDED
 25 / 40 = 1 PER 40 = 1 EA., 1 EA. PROVIDED
 DRINKING FOUNTAINS: 1 PER 100 1 EA., 1 EA. PROVIDED
 25 / 100 = 1 PER 100 = 1 EA., 1 EA. PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED



LIFE SAFETY PLAN LEGEND

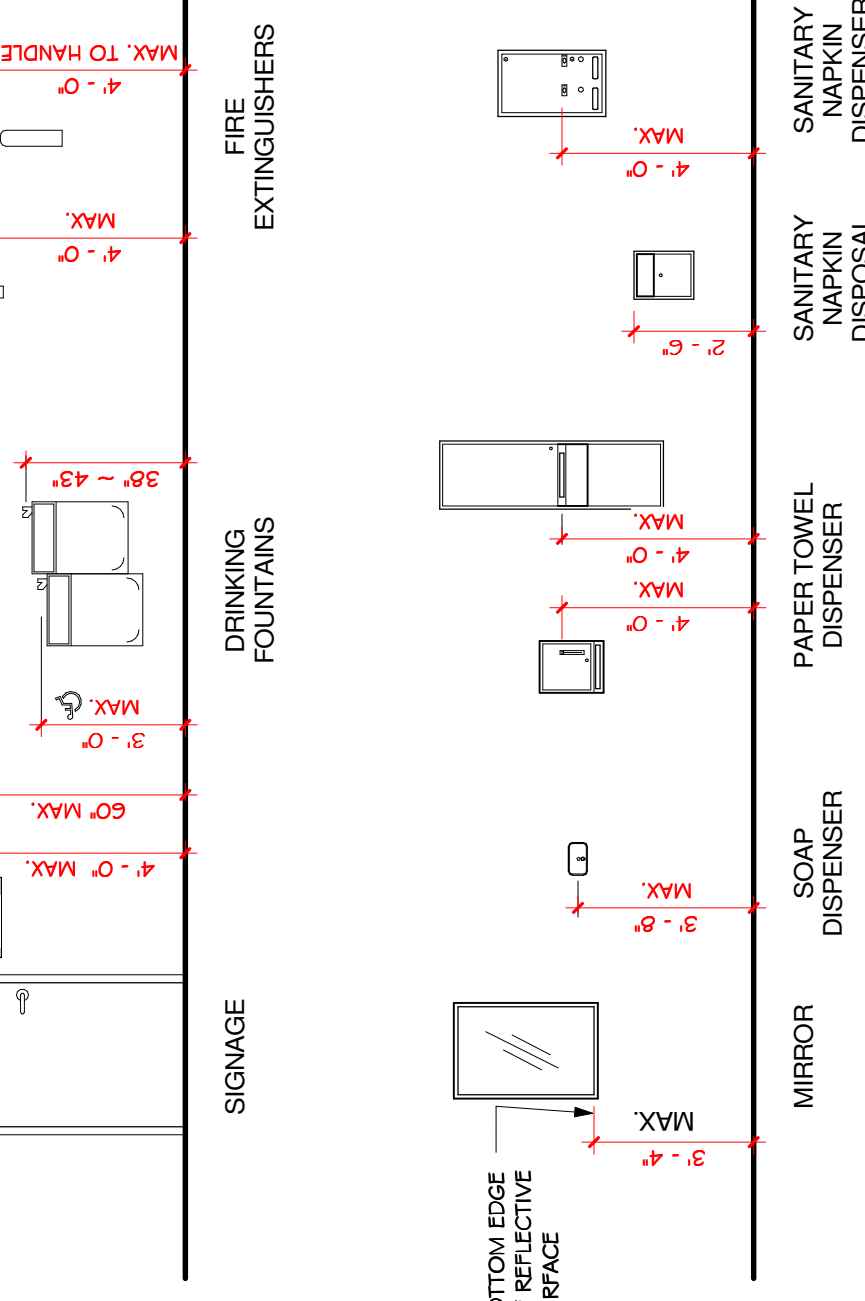


1 BLDG 8 AREA / LIFE SAFETY PLAN
 SCALE = 1/8" = 1'-0"



TYPICAL MOUNTING HEIGHTS

ALL EQUIPMENT AND FIXTURES SHALL BE MOUNTED AT LOCATIONS WHICH MEET THE STATE BUILDING CODE AND THE AMERICANS WITH DISABILITIES ACT.



PROJECT TEAM DATA

ARCHITECT:
 KEY ARCHITECTURE INC.
 P.O. BOX 748
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 FAYETTEVILLE, ARKANSAS 72701
 PH: (479) 444-6066
 FAX: (479)444-1445

CONSULTANTS

STRUCTURAL:
MECHANICAL:
CIVIL:

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BY: _____ DATE: _____

FOR CUP APPROVAL

Rev. #	Date	Description

#	Sheet Name
A0.0	BLDG 8 - COVER SHEET
A1.1	BLDG 8 FLOOR ROOF PLAN
A2.1	BLDG 8 ELEVATIONS

PJT-OLD WIRE SERVICE & REC. - BLDG 8
 OLD WIRE RD. (WC 87)
 FAYETTEVILLE, AR 72703
 Pat Tobin
 2901 N. Tobin Ln.
 Fayetteville, AR 72703

DRAWN BY: AIH
CHECKED BY: HFM
DATE: 10-05-17
PROJECT #: 1730

SHEET:
A0.0
 BLDG 8 - COVER SHEET

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PH: 479.444.6066 FAX: 479.444.1445

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APPROVAL

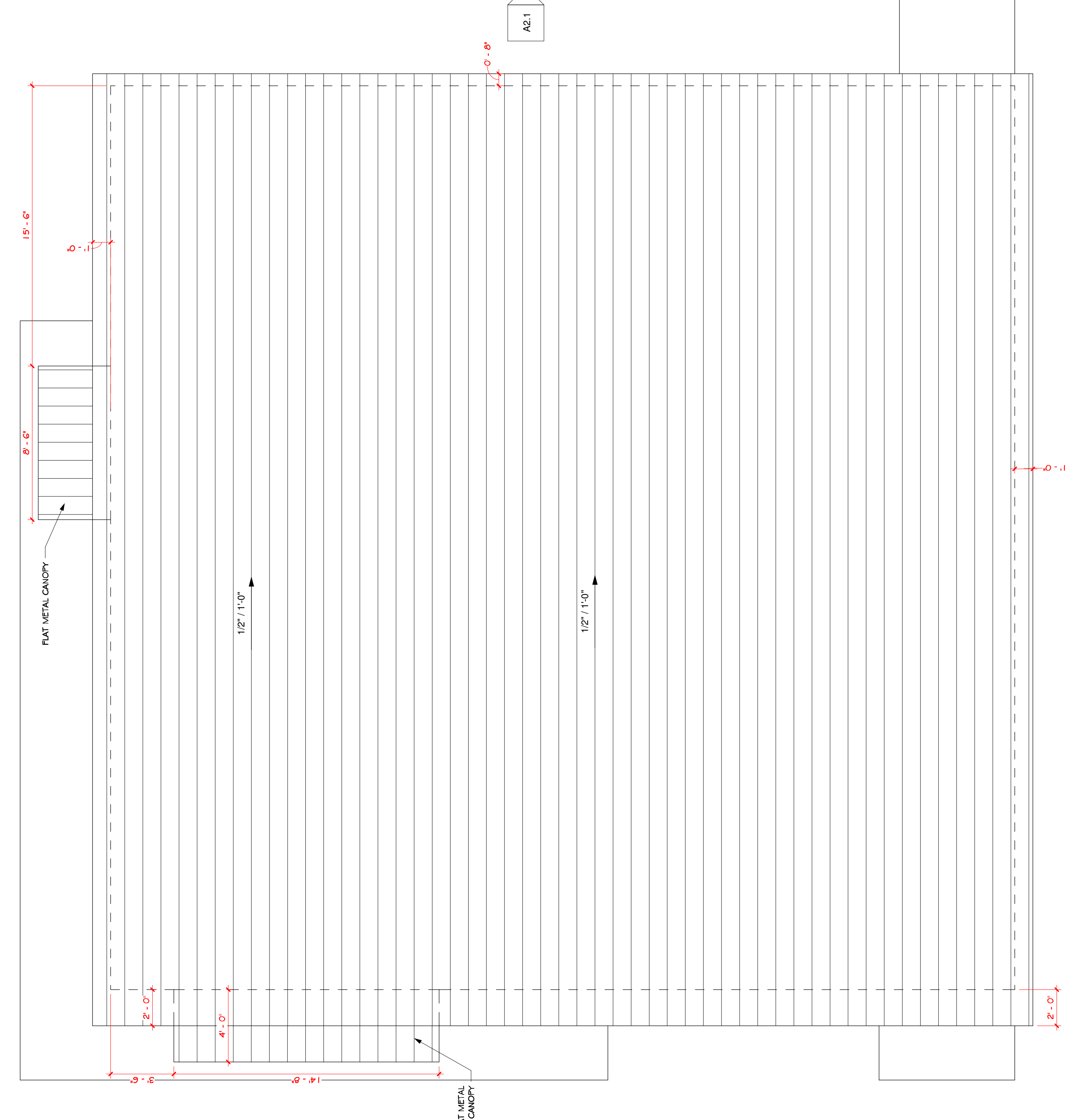
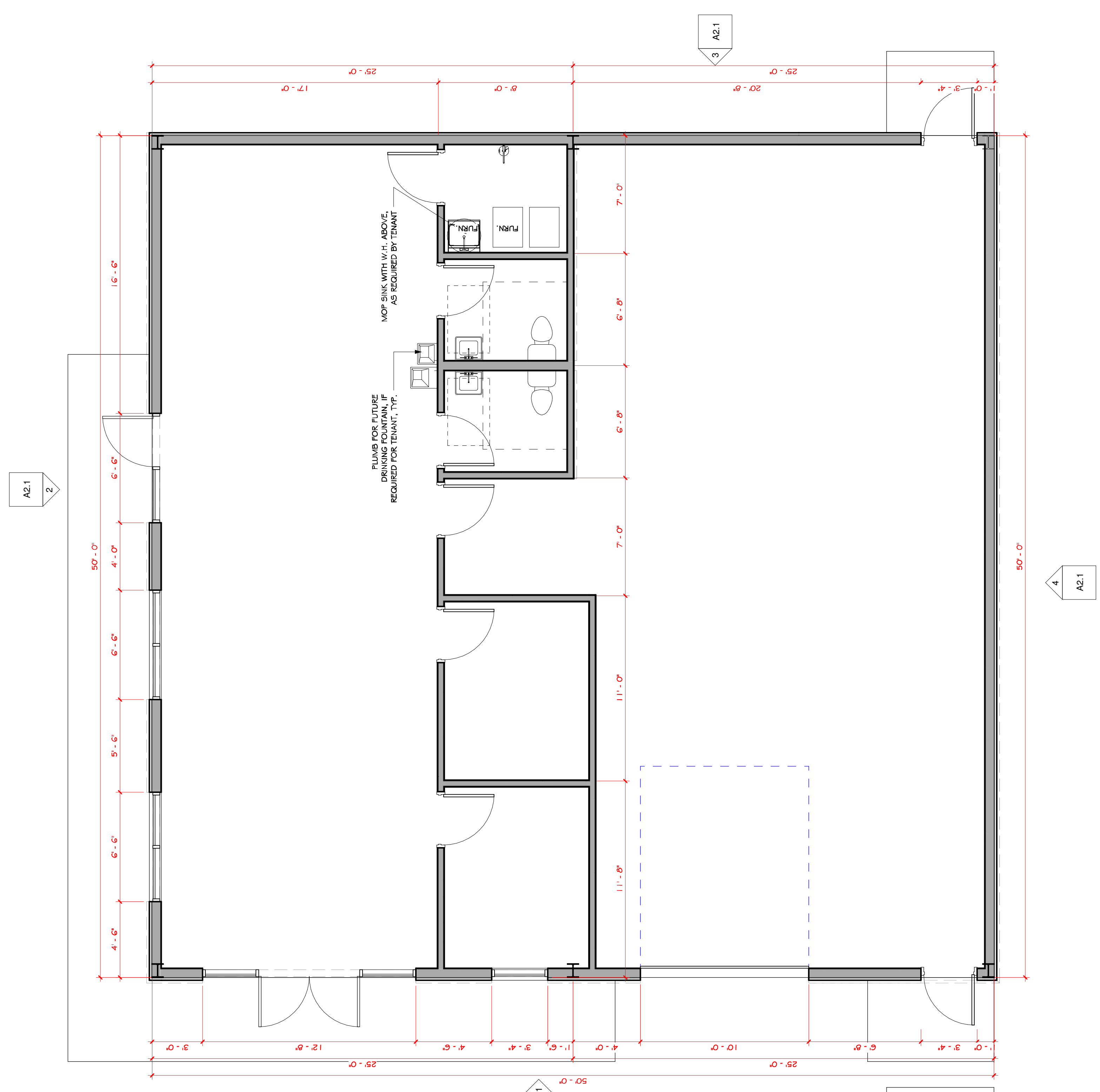
Revision Schedule	Rev. #	Date	Description

PJT-OLD WIRE SERVICE & REC. - BLDG 8
OLD WIRE RD. (WC 87)
FAYETTEVILLE, AR 72703
Pat Tobin
2901 N. Tobin Ln.
Fayetteville, AR 72703

DRAWN BY: AMH
CHECKED BY: HFM
DATE: 10-06-17
PROJECT #: 1730

SHEET
A1.1
BLDG 8 FLOOR ROOF PLAN

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1 FLOOR PLAN - BLDG 8
SCALE = 1/4" = 1'-0"

2 ROOF PLAN - BLDG 8
SCALE = 1/4" = 1'-0"



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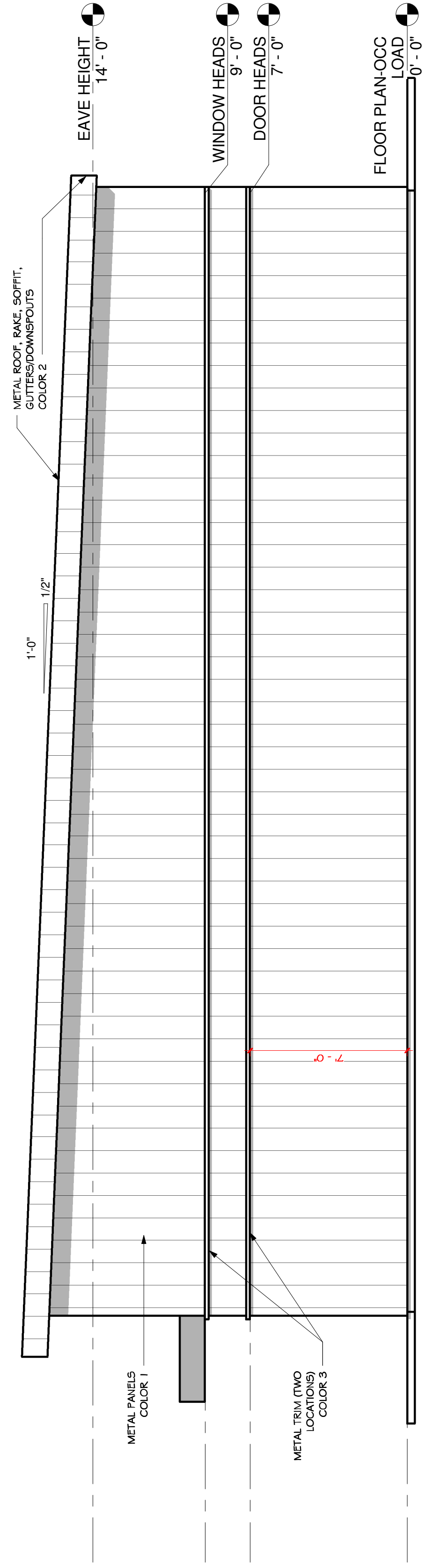
Revision Schedule	Rev. #	Date	Description

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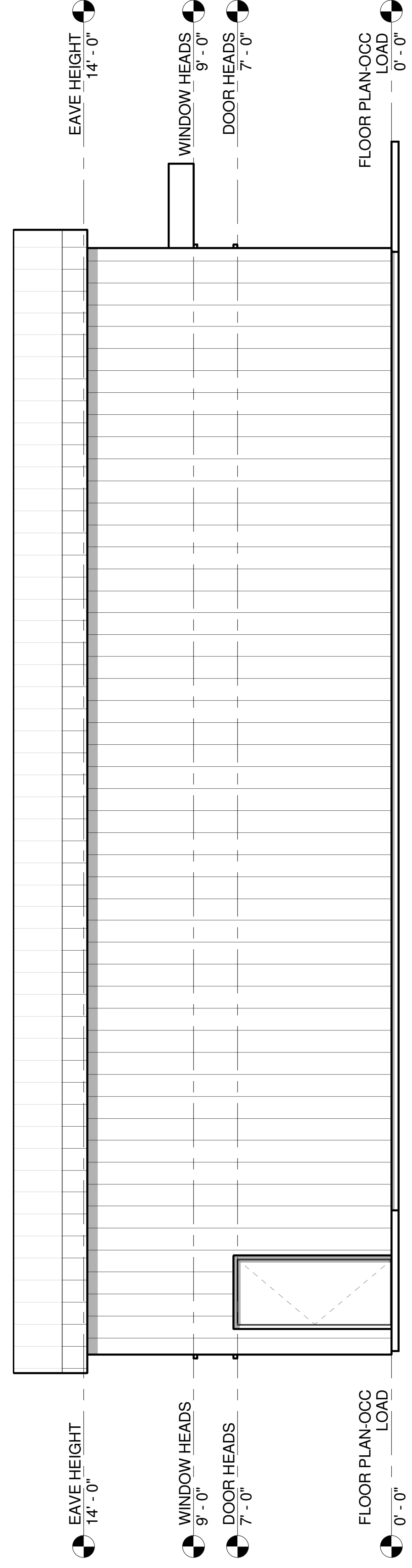
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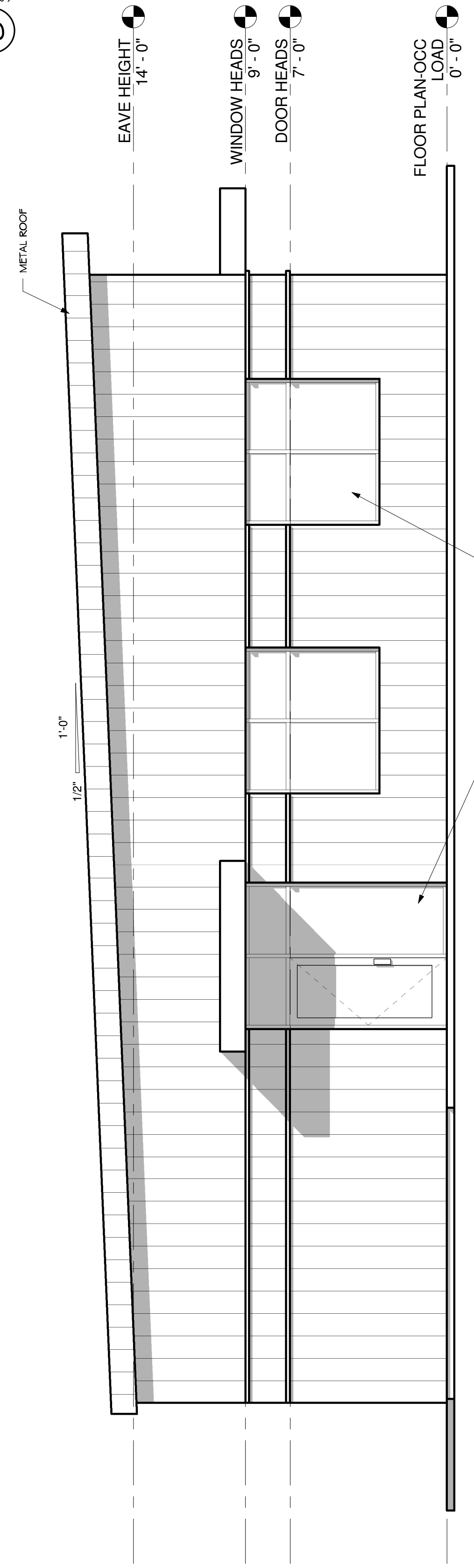
A2.1
 BLDG 8 ELEVATIONS
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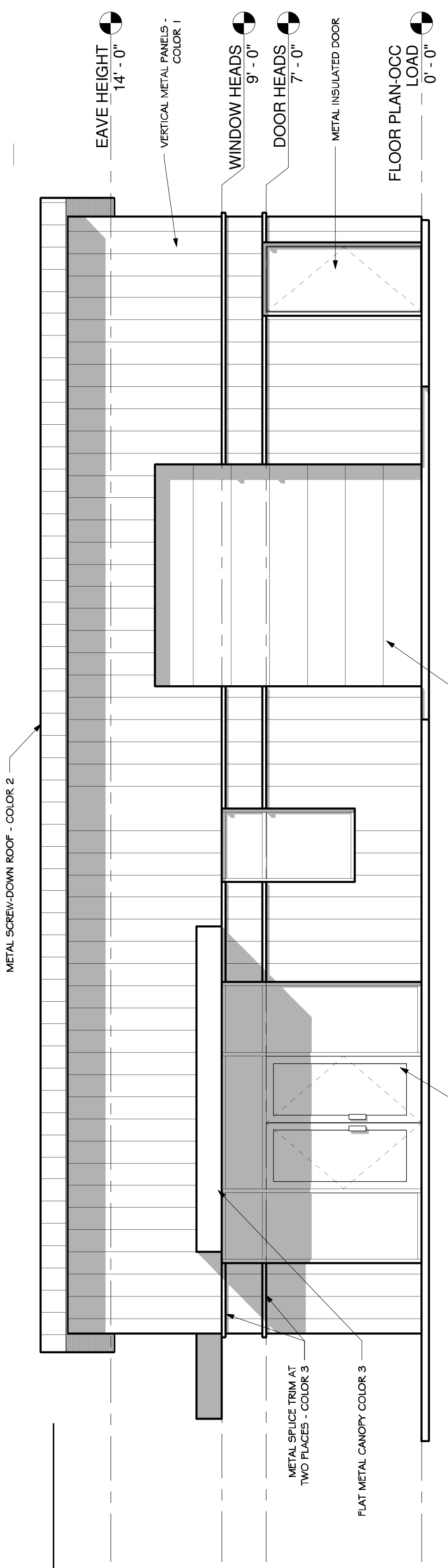
4 BLDG 8 - SOUTH ELEVATION
 SCALE = 1/4" = 1'-0"



3 BLDG 8 - EAST ELEVATION
 SCALE = 1/4" = 1'-0"



2 BLDG 8- NORTH ELEVATION
 SCALE = 1/4" = 1'-0"



1 BLDG 8 - WEST ELEVATION
 SCALE = 1/4" = 1'-0"

- COLOR 1 ASH GRAY
- COLOR 2 CHARCOAL GRAY
- COLOR 3 POLAR WHITE