



WASHINGTON COUNTY, ARKANSAS
County Courthouse

REGULAR MEETING OF THE
WASHINGTON COUNTY QUORUM COURT

Thursday March, 17, 2022
6:00 p.m.
Washington County Quorum Court Room

A G E N D A

1. **CALL TO ORDER AND WELCOME** **JUDGE JOSEPH WOOD**
2. **PRAYER AND PLEDGE**
3. **ADOPTION OF AGENDA**
At the beginning of each meeting, the agenda shall be approved. Any JP may request an item be added or removed from the agenda subject to approval of the Quorum Court.
4. **PRELIMINARY MOTIONS**
5. **CITIZEN'S COMMENTS**
Fifteen-minute comment period with a three-minute limit for each individual to comment on items on the agenda or other items.
6. **APPROVAL OF MINUTES** – Approval of the minutes from the Regular Quorum Court meeting of February 17, 2022.
7. **COUNTY JUDGE'S REPORT** (7.1) **JUDGE JOSEPH WOOD**

UNFINISHED BUSINESS

8. **AN ORDINANCE RATIFYING A CONDITIONAL USE PERMIT RECOMMENDED FOR APPROVAL BY THE PLANNING AND ZONING BOARD** Sqwyr'l's Paradise CUP
Item 22-O-101 (8.1) Third reading **JP Leming**
9. **AN ORDINANCE RATIFYING A CONDITIONAL USE PERMIT RECOMMENDED FOR APPROVAL BY THE PLANNING AND ZONING BOARD** Premier Storage Item 22-O-013
(9.1) Third reading **JP Deakins**

NEW BUSINESS

10. **CRUZ- NAZARETH RETREAT CENTER CUP APPEAL** (10.1-10.5)
Conditional Use Permit Request
Location: Section 01, Township 17, Range 29
Applicant: Blew & Associates Location
Address: 18316 Vaughn Road WC 382
11. **APPEAL HEARING DISCUSSION BY QUORUM COURT**
12. **QUORUM COURT ACTION ON CRUZ-NAZARETH RETREAT CENTER CUP APPEAL**
Item 22-O-039 & Item 22-O-040 (12.1-12.2)
13. **CONSENT AGENDA:**
 1. **AN ORDINANCE APPROPRIATING \$61,784.63 FROM THE UNAPPROPRIATED RESERVES OF THE GENERAL FUND TO VARIOUS LINE ITEMS IN THE CIRCUIT COURT IV BUDGET (10000404) FOR 2022**
Item 22-O-016 (13.1) JP Lisa Ecke
 2. **AN ORDINANCE CHANGING THE GRADE OF THE GIS MAPPING SPECIALIST POSITION IN THE IT BUDGET; AND APPROPRIATING \$57,544.06 FROM VARIOUS FUNDS TO VARIOUS BUDGETS FOR 2022**
Item 22-O-021 (13.2) JP Lisa Ecke
 3. **AN ORDINANCE PROJECTING REVENUES AND CARRYOVER TOTALING \$7,496,055.79 IN VARIOUS FUNDS; AND APPROPRIATING EXPENDITURES OF \$7,496,055.79 TO VARIOUS FUNDS AND BUDGET LINE ITEMS FOR 2022** Item 22-O-026 (13.1-13.3A&B)
JP Patrick Deakins
 4. **AN ORDINANCE APPROPRIATING \$88,546.30 FROM UNAPPROPRIATED RESERVES IN THE GENERAL (1000) AND JAIL (3017) FUNDS FOR THE PURCHASE OF TASERS** Item 22-O-030 (13.4)
JP Patrick Deakins
 5. **AN ORDINANCE APPROPRIATING \$109,386.00 FROM UNAPPROPRIATED RESERVES IN THE GENERAL FUND (1000) TO THE VEHICLES LINE ITEM IN THE ENVIRONMENTAL AFFAIRS BUDGET (10000702) FOR 2022** Item 22-O-031 (13.5)
JP Patrick Deakins

6. AN ORDINANCE APPROPRIATING \$33,020 FROM THE ANIMAL SHELTER SPECIAL PROJECTS FUND TO VARIOUS LINE ITEMS IN THE ANIMAL SHELTER SPECIAL PROJECTS BUDGET FOR 2022

Item 22-032 (13.6)

JP Patrick Deakins

7. AN ORDINANCE RECOGNIZING ADDITIONAL REVENUE OF \$134,118.65; AND, APPROPRIATING \$134,118.65 FROM UNAPPROPRIATED RESERVES OF THE GENERAL FUND TO VARIOUS LINE ITEMS IN THE SHERIFF'S BUDGET (0400) AND JAIL BUDGET (0418) FOR 2022

Item 22-O-034 (13.7)

JP Patrick Deakins

8. AN ORDINANCE RECOGNIZING REVENUE IN THE AMOUNT OF \$19,550.00 IN THE ANIMAL SHELTER GRANT FUND; AND, APPROPRIATING \$19,550.00 FROM THE ANIMAL SHELTER GRANT FUND (3515) TO THE ANIMAL SHELTER GRANT FUND BUDGET (35150308) FOR 2022

Item 22-O-035 (13.8)

JP Patrick Deakins

14. AN ORDINANCE APPROPRIATING \$335,785.55 FROM THE AMERICAN RESCUE PLAN ACT FUND (3046) TO THE ENGINEERING/ARCHITECTURE LINE ITEM IN THE AMERICAN RESCUE PLAN ACT BUDGET (30460568.3004) FOR 2022

Item 22-O-033 (14.1)

JP Patrick Deakins

15. AN ORDINANCE APPROPRIATING \$15,883.80 FROM THE UNAPPROPRIATED RESERVES OF THE GENERAL FUND (1000) TO VARIOUS LINE ITEMS IN THE VETERAN SERVICES BUDGET (10000800) FOR 2022

Item 22-O-036 (15.1)

JP Patrick Deakins

16. AN ORDINANCE RECOGNIZING REVENUE IN THE AMOUNT OF \$404,265; AND, APPROPRIATING SAID \$404,265 TO VARIOUS FUNDS IN VARIOUS BUDGETS FOR 2022

Item 22-O-037 (16.1)

JP Patrick Deakins

17. COMMITTEE REPORTS:

- COUNTY SERVICES (No Meeting)
- FINANCE & BUDGET 17.1
- JAILS/LAW ENFORCEMENT/COURTS 17.2
- PERSONNEL (No Meeting)

18. ADJOURNMENT

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**MINUTES OF THE
REGULAR MEETING OF THE
WASHINGTON COUNTY QUORUM COURT**

Thursday February 17, 2022
6:00 p.m.

Washington County Courthouse

9 Judge Joseph Wood called the meeting to order at 6:00 p.m.

10
11 JP Evelyn Rios Stafford asked Monique Jones, Minister from The Historic St James
12 Missionary Baptist Church to lead the prayer and the pledge.

13
14 Members present were JP Lance Johnson, JP Shannon Marti, JP Sean Simons, JP Bill
15 Ussery, JP Patrick Deakins, JP Lisa Ecke, JP Sam Duncan, JP Shawndra Washington,
16 JP Eva Madison, JP Robert Dennis, JP Suki Highers, JP Evelyn Rios Stafford, JP Willie
17 Leming, JP Jim Wilson, and JP Butch Pond.

18
19 In Honoring Black History there was a pre-recorded presentation given by Judge Wood
20 commemorating the roles of African Americans in Washington County. Former Justice
21 of the Peace were included in the presentation, Jessie Bryant, Gary McHenry, Alicia
22 Deavens and current JP Shawndra Washington.

23
24 Judge Wood Proclaimed 2-17-2022 is declared as Jessie Bryant Day in Washington
25 County, Arkansas.

26
27 JP Johnson raised a question of privilege and brought before the Court
28 “A RESOLUTION RECOGNIZING COUNTY JUDGE JOSEPH K. WOOD AS BOTH
29 THE FIRST AFRICAN AMERICAN COUNTY JUDGE IN THE STATE OF ARKANSAS
30 AND THE FIRST AFRICAN AMERICAN ELECTED COUNTY-WIDE IN WASHINGTON
31 COUNTY, ARKANSAS” 2022-R-003
32 Chief of Staff, Brian Lester read the Resolution and a motion was made by JP Johnson
33 and second by JP Ecke and “**A RESOLUTION RECOGNIZING COUNTY JUDGE
34 JOSEPH K. WOOD AS BOTH THE FIRST AFRICAN AMERICAN COUNTY JUDGE
35 IN THE STATE OF ARKANSAS AND THE FIRST AFRICAN AMERICAN ELECTED
36 COUNTY-WIDE IN WASHINGTON COUNTY, ARKANSAS**” RES 2022-01 passed
37 unanimously and resolution was adopted.

38
39 A motion to amend the agenda was made by JP Ecke and add “AN ORDINANCE
40 AMENDING ORDINANCE 2021-01 TO PERMIT COMMITTEE CHAIRS TO SET THE
41 TIME FOR COMMITTEE MEETINGS” Item 22-O-028 as item 18 on the agenda. JP
42 Pond seconded the motion to amend. Motion carried.

43
44 JP Deakins made a motion to also amend the agenda and add “AN ORDINANCE
45 RECOGNIZING REVENUE AND APPROPRIATING REVENUE IN THE AMOUNT OF
46 \$3,000,000 TO THE EMERGENCY RENTAL ASSISTANCE GRANT FUND
47 (3525.0523) FOR 2022” Item 22-O-029 A second was made by JP Dennis and
48 ordinance was approved to place as item 19 on the agenda.

49

50 A motion was made by JP Duncan to Approve Amended Agenda and second by JP
51 Wilson. Motion passed and Agenda was adopted.

52

53 JP Duncan made a motion to suspend rules and read ordinances and resolutions by
54 title only. Second was made by JP Leming motion unanimously approved.

55

56 Citizen's comments were taken from Richard Tiffany, Robert Dennis, Gladys Tiffany,
57 Quinn Foster, Beth Cogger and William Terrell.

58

59 A motion to approve the January 20, 2022 minutes was made by JP Leming and
60 seconded by JP Deakins. A voice vote was called and all members unanimously voted
61 to approve the minutes.

62

63 Judge Joseph Wood presented the Judge's Report. Judge Wood presented to the Court
64 a Purchasing Department Report of the Disposal of County Property for January.

65

66 Judge Joseph Wood introduced item 9 on the Conditional Use Permit for Rock Town
67 Layover RV Park. JP Leming made a motion to table the CUP, no second was made.
68 JP Wilson then made a motion to approve the denial by Planning Board and a second
69 was made. There was no discussion by court.

70

71 Public comments were accepted regarding the Rock Town Layover RV Park. Tara
72 Browning, Cassandra Julich, Mark Faldon and Jerry Genz all residents of Bug Scuffle
73 area and were in support of the denial of the CUP.

74

75 Judge Wood called for the County Attorney, Brian Lester to read by title only "AN
76 ORDINANCE DENYING A CONDITIONAL USE PERMIT RECOMMENDED FOR
77 DENIAL BY THE PLANNING AND ZONING BOARD" Item 22-O-007

78

79 JP Wilson made a motion to suspend the rules and move on to the second reading and
80 second was made by JP Ecke. A voice vote was called with all approving.

81

82 County Attorney read second time by title only. A motion was made to suspend rules
83 and move to third and final reading by JP Wilson with a second by JP Ecke with a voice
84 vote and all approving. The ordinance was read a third and final time.

85

86 JP Wilson made the motion to approve the denial of the CUP with a second by JP Ecke
87 A roll call vote was called and the votes were tallied as follows:

88 JP Lance Johnson -No

89 JP Shannon Marti – No

90 JP Sean Simons-Yes

91 JP Bill Ussery – Yes

92 JP Patrick Deakins – No

93 JP Lisa Ecke – Yes

94 JP Sam Duncan – No

95 JP Shawndra Washington – Yes

96 JP Eva Madison – Yes
97 JP Robert Dennis – Yes
98 JP Suki Highers – Yes
99 JP Evelyn Rios-Stafford – Yes
100 JP Willie Leming-No
101 JP Jim Wilson - Yes
102 JP Butch Pond – Yes

103

104 The motion passed and **“AN ORDINANCE DENYING A CONDITIONAL USE PERMIT**
105 **RECOMMENDED FOR DENIAL BY THE PLANNING AND ZONING BOARD”** was
106 **adopted.**

107

108 Judge Joseph Wood introduced item 12.1, sponsored by JP Willie Leming and was on
109 the second reading. County Attorney Brian Lester read by title only, “AN ORDINANCE
110 RATIFYING A CONDITIONAL USE PERMIT RECOMMENDED FOR APPROVAL BY
111 THE PLANNING AND ZONING BOARD” for the Sqwyr!’s Paradise CUP Item 22-O-010
112 JP Leming recommended CUP move onto March for third reading.

113

114 Judge Wood moved on to item 13.1 which was also on the second reading and was
115 read by title only by County Attorney Brian Lester, “AN ORDINANCE RATIFYING A
116 CONDITIONAL USE PERMIT RECOMMENDED FOR APPROVAL BY THE PLANNING
117 AND ZONING BOARD” Premier Storage Item 22-O-013, JP Deakins, the sponsor of the
118 ordinance, recommended to move CUP onto March for third reading.

119

120 Judge Wood introduced agenda item 14, which was the Consent agenda and requested
121 County Attorney Brian Lester to read all ordinances by title only. All were read and JP
122 Duncan moved to approve consent agenda with a second by JP Deakins.
123 Public comments were made by Quinn Foster.

124

125 A roll call vote was called and the votes were tallied as follows:

126 JP Lance Johnson -Yes
127 JP Shannon Marti – Yes
128 JP Sean Simons-Yes
129 JP Bill Ussery – Yes
130 JP Patrick Deakins – Yes
131 JP Lisa Ecke – Yes
132 JP Sam Duncan – Yes
133 JP Shawndra Washington – No
134 JP Eva Madison – No
135 JP Robert Dennis – No
136 JP Suki Highers – No
137 JP Evelyn Rios-Stafford – No
138 JP Willie Leming-Yes
139 JP Jim Wilson - Yes
140 JP Butch Pond – Yes

141 Motion passed to approve consent agenda and the following ordinances were adopted.

142
143 **AN ORDINANCE APPROPRIATING \$9,600 FROM THE UNAPPROPRIATED**
144 **RESERVES OF THE GENERAL FUND (1000) TO THE SPECIAL LEGAL LINE ITEM**
145 **IN THE COUNTY ATTORNEY BUDGET FOR 2022 Item 22-O-006**

146
147 **AN ORDINANCE RECOGNIZING REVENUE IN THE AMOUNT OF \$13,321.56 IN THE**
148 **JAIL FUND; AND, APPROPRIATING \$13,321.56 FROM THE UNAPPROPRIATED**
149 **RESERVES OF THE JAIL FUND TO THE UTILITIES LINE ITEM IN THE JAIL**
150 **OPERATIONS & MAINTENANCE BUDGET (30170127) FOR 2022. Item 22-O-015**

151
152 **AN ORDINANCE APPROPRIATING \$11,874.72 FROM THE UNAPPROPRIATED**
153 **RESERVES OF THE GENERAL FUND TO VARIOUS LINE ITEMS IN THE TAX**
154 **COLLECTOR BUDGET (10000104) FOR 2022. Item 22-O-017**

155
156 **AN ORDINANCE APPROPRIATING \$77,039.10 FROM THE RECORDER'S COST**
157 **FUND TO VARIOUS LINE ITEMS IN THE CIRCUIT CLERK'S RECORDER'S COSTS**
158 **BUDGET (30060128) FOR 2022. Item 22-O-018**

159
160 **AN ORDINANCE APPROPRIATING \$48,617.83 FROM THE COUNTY LIBRARY**
161 **FUND TO VARIOUS LINE ITEMS IN THE COUNTY LIBRARY BUDGET (30080600)**
162 **FOR 2022. Item 22-O-019**

163
164 **AN ORDINANCE APPROPRIATING \$19,503.29 FROM THE UNAPPROPRIATED**
165 **RESERVES OF THE GENERAL FUND TO VARIOUS LINE ITEMS IN THE**
166 **BUILDINGS & GROUNDS MAINTENANCE BUDGET (10000108) FOR 2022. Item 22-**
167 **O-020**

168
169 **AN ORDINANCE CHANGING THE GRADES VARIOUS POSITIONS IN THE CIRCUIT**
170 **COURT VIII BUDGET; AND DE-APPROPRIATING \$15,195.40 FROM VARIOUS LINE**
171 **ITEMS IN THE CIRCUIT COURT VIII BUDGET FOR 2022 AND RETURNING SAID**
172 **MONEY TO UNAPPROPRIATED RESERVES IN THE GENERAL FUND (1000). Item**
173 **22-O-022**

174
175 **AN ORDINANCE ANTICIPATING \$23,229,635.50 IN THE AMERICAN RESCUE**
176 **PLAN ACT FUND (3046); AND, APPROPRIATING \$10,000,000 FROM THE**
177 **AMERICAN RESCUE PLAN ACT FUND (3046) TO THE ARPA REVENUE**
178 **REPLACEMENT FUND (1006) FOR 2022. Item 22-O-023**

179
180 **AN ORDINANCE ANTICIPATING ADDITIONAL REVENUE IN THE AMOUNT OF**
181 **\$11,900 IN THE LAW ENFORCEMENT GRANT FUND; AND APPROPRIATING**
182 **\$11,900 FROM THE LAW ENFORCEMENT GRANT FUND TO THE ADR GRANT**
183 **BUDGET FOR 2022. Item 22-O-024**

184
185 **AN ORDINANCE ESTABLISHING TWO FUNDS FOR THE COLLECTION OF FIRE**
186 **DUES RECEIVED BY THE TREASURER. Item 22-O-025**

187

188 **AN ORDINANCE CREATING THE ARPA ADMINISTRATOR POSITION IN THE**
189 **AMERICAN RESCUE PLAN BUDGET (30460568) FOR 2022. Item 22-O-027**
190

191 Judge Wood introduced item 15.1 and had County Attorney Brian Lester read resolution
192 by title only, A RESOLUTION OF THE QUORUM COURT OF WASHINGTON
193 COUNTY, ARKANSAS EXPRESSING APPRECIATION TO DR. ROBERT KARAS AND
194 KARAS CORRECTIONAL HEALTH. Item 22-R-001 JP Deakins made a motion to
195 approve the resolution with JP Simons making a second. There were many comments
196 made both by Quorum Court and during public comments, for and against resolution.
197

198 JP Washington made a motion to amend the resolution with a second from JP Highers
199 a voice vote was taken and motion to amend failed.
200

201 Original motion to approve resolution brought back to the floor for votes.

202 A roll call vote was called and the votes were tallied as follows:

203 JP Lance Johnson -Yes

204 JP Shannon Marti – Yes

205 JP Sean Simons-Yes

206 JP Bill Ussery – Yes

207 JP Patrick Deakins – Yes

208 JP Lisa Ecke – Yes

209 JP Sam Duncan – Yes

210 JP Shawndra Washington – No

211 JP Eva Madison – No

212 JP Robert Dennis – Absent

213 JP Suki Highers – No

214 JP Evelyn Rios-Stafford – No

215 JP Willie Leming-Abstain

216 JP Jim Wilson - Yes

217 JP Butch Pond – Yes

218 Motion passed and **“A RESOLUTION OF THE QUORUM COURT OF WASHINGTON**
219 **COUNTY, ARKANSAS EXPRESSING APPRECIATION TO DR. ROBERT KARAS**
220 **AND KARAS CORRECTIONAL HEALTH.”** Item 22-R-001 was adopted.
221

222 Agenda item 16.1 introduced by JP Rios Stafford was a resolution read by title only by
223 County Attorney Brian Lester, "A RESOLUTION OF THE QUORUM COURT OF
224 WASHINGTON COUNTY, ARKANSAS SUPPORTING THE PRINCIPLE OF
225 INFORMED CONSENT TO MEDICAL TREATMENTS" Item 22-R-002 (16.1) JP Rios
226 Stafford made a motion to pass resolution with a second from JP Highers. Discussions
227 were held by court with comments from JP Pond, JP Highers, JP Madison, JP Rios
228 Stafford, JP Washington and JP Leming.
229

230 Citizen's Comments were made by Sarah Moore, Gladys Tiffany, Nikki Beaver, Kyle
231 Lyons and Avery Redfern.
232

233 The motion on the floor from JP Rios Stafford and second by JP Highers with a roll call

234 vote taken and votes were tallied as follows:

- 235 JP Lance Johnson -No
- 236 JP Shannon Marti – No
- 237 JP Sean Simons-No
- 238 JP Bill Ussery – No
- 239 JP Patrick Deakins – No
- 240 JP Lisa Ecke – No
- 241 JP Sam Duncan – No
- 242 JP Shawndra Washington – Yes
- 243 JP Eva Madison – Yes
- 244 JP Robert Dennis – Abstain
- 245 JP Suki Highers – Yes
- 246 JP Evelyn Rios-Stafford – Yes
- 247 JP Willie Leming-No
- 248 JP Jim Wilson - No
- 249 JP Butch Pond – No
- 250 Motion to adopt resolution fails.

251

252

253 County Attorney Brian Lester read by title only, “AN ORDINANCE ESTABLISHING
254 GUIDELINES FOR THE EXPENDITURE OF AMERICAN RESCUE PLAN ACT
255 FUNDS.” Item 22-O-014 (17.1) JP Duncan made a motion to pass ordinance with
256 second by JP Pond. JP Rios Stafford made a motion to amend ordinance item 22-O-
257 014 second by JP Highers voice vote was called and failed to amend ordinance. Court
258 went back to original ordinance with a motion from JP Duncan and second from JP
259 Pond.

260

261 Public comments were entertained from Sarah Moore.

262

263 JP Duncan made a motion to suspend rules and go to second reading of ordinance with
264 a second by JP Pond.

265 A roll call vote was taken and votes were tallied as follows:

- 266 JP Lance Johnson -Yes
- 267 JP Shannon Marti – Yes
- 268 JP Sean Simons-Yes
- 269 JP Bill Ussery – Yes
- 270 JP Patrick Deakins – Yes
- 271 JP Lisa Ecke – Yes
- 272 JP Sam Duncan – Yes
- 273 JP Shawndra Washington – No
- 274 JP Eva Madison – No
- 275 JP Robert Dennis – Yes
- 276 JP Suki Highers – No
- 277 JP Evelyn Rios-Stafford – No
- 278 JP Willie Leming-Yes
- 279 JP Jim Wilson - Yes

280 JP Butch Pond – Yes
281 Motion passes to move to second reading.

282
283 County Attorney Brian Lester read ordinance by title only for second reading.

284
285 JP Duncan made a motion to suspend rules and read for third and final reading a
286 second was made by JP Pond. A voice vote was called and passed to final reading. The
287 ordinance was read for third and final time by County Attorney Brian Lester. JP Duncan
288 made a motion to pass ordinance with second by JP Pond.

289
290 Public comments were made by Aaron Howerton, Beth Coger, April, Anne Britton,
291 Jaqueline Albertson and Sophia Dugwyler.

292
293 A roll call vote was taken and tallied as follows:

294 JP Lance Johnson -Yes
295 JP Shannon Marti – Yes
296 JP Sean Simons-Yes
297 JP Bill Ussery – Yes
298 JP Patrick Deakins – Yes
299 JP Lisa Ecke – Yes
300 JP Sam Duncan – Yes
301 JP Shawndra Washington – No
302 JP Eva Madison – No
303 JP Robert Dennis – Yes
304 JP Suki Highers – No
305 JP Evelyn Rios-Stafford – No
306 JP Willie Leming-Yes
307 JP Jim Wilson - Yes
308 JP Butch Pond – Yes

309
310 Motion passes and “**AN ORDINANCE ESTABLISHING GUIDELINES FOR THE**
311 **EXPENDITURE OF AMERICAN RESCUE PLAN ACT FUNDS.**” Item 22-O-014 was
312 **adopted.**

313
314 Item 18 that was added to agenda was introduced by JP Ecke, “AN ORDINANCE
315 AMENDING ORDINANCE 2021-01 TO PERMIT COMMITTEE CHAIRS TO SET THE
316 TIME FOR COMMITTEE MEETINGS” Item 22-O-028

317 JP Ecke made a motion to suspend the rules and move to second reading, with a
318 second from JP Pond a voice vote was taken and passed. County Attorney Brian Lester
319 read ordinance a by title only. JP Ecke made a motion to suspend rules and second by
320 JP Pond to move to the third and final reading, a voice vote was taken and passed. The
321 ordinance was read for a third and final time by Brian Lester, County Attorney.

322
323 JP Ecke made a motion to pass the ordinance with a second by JP Pond. Court held
324 discussion among members.

325

326 There were public comments made by Sarah Moore and Beth Coger.

327

328 A roll call vote was taken and tallied as follows:

329 JP Lance Johnson -No

330 JP Shannon Marti – Yes

331 JP Sean Simons-Yes

332 JP Bill Ussery – Yes

333 JP Patrick Deakins – Yes

334 JP Lisa Ecke – Yes

335 JP Sam Duncan – Yes

336 JP Shawndra Washington – No

337 JP Eva Madison – Yes

338 JP Robert Dennis – Yes

339 JP Suki Highers – Yes

340 JP Evelyn Rios-Stafford – Yes

341 JP Willie Leming-Yes

342 JP Jim Wilson - Yes

343 JP Butch Pond – Yes

344 Motion passed and **“AN ORDINANCE AMENDING ORDINANCE 2021-01 TO PERMIT**
345 **COMMITTEE CHAIRS TO SET THE TIME FOR COMMITTEE MEETINGS”** Item 22-O-
346 **028 was adopted**

347

348 Agenda item 19 that was added was introduced by JP Deakins with a motion and a
349 second by JP Wilson. Ordinance was read by title only by County Attorney, Brian
350 Lester, and “AN ORDINANCE RECOGNIZING REVENUE AND APPROPRIATING
351 EXPENDITURES IN THE AMOUNT OF \$3,000,000 TO THE EMERGENCY RENTAL
352 ASSISTANCE GRANT FUND (3525.0523) FOR 2022 Item 22-O-029. There was
353 discussion among court members JP Stafford, County Attorney, JP Leming and JP
354 Madison.

355

356 There were no public comments

357

358 A roll call vote was taken and tallied as follows:

359 JP Lance Johnson -Yes

360 JP Shannon Marti – Yes

361 JP Sean Simons-Yes

362 JP Bill Ussery – Yes

363 JP Patrick Deakins – Yes

364 JP Lisa Ecke – Yes

365 JP Sam Duncan – Yes

366 JP Shawndra Washington – Yes

367 JP Eva Madison – Yes

368 JP Robert Dennis – Yes

369 JP Suki Highers – Yes

370 JP Evelyn Rios-Stafford – Yes

371 JP Willie Leming-Yes

372 JP Jim Wilson - Yes
373 JP Butch Pond – Yes
374 Motion passes and “**AN ORDINANCE RECOGNIZING REVENUE AND**
375 **APPROPRIATING EXPENDITURES IN THE AMOUNT OF \$3,000,000 TO THE**
376 **EMERGENCY RENTAL ASSISTANCE GRANT FUND (3525.0523) FOR 2022 was**
377 **adopted.**
378

379 Committee Reports for February were given with County Services Committee report
380 Chair JP Duncan. The County Services Committee met on Monday, January 31, 2022.
381 The Committee members had discussion on establishing guidelines for the expenditure
382 of American Rescue Plan Act Funds. There was one ordinance passed on to Quorum
383 Court. Chief of Staff Brian Lester gave the Committee an update on the ERA,
384 Emergency Rental Assistance.
385

386 Personnel Committee Chair JP Ecke reported, The Personnel Committee met on
387 Monday, February 7, 2022. The Committee amended the agenda and added an
388 ordinance, which was included in the total of eight ordinances that were passed onto the
389 Finance and Budget committee. For the Chairman’s report, Chief of Staff, Brian Lester
390 explained a proposed budget process in the future for the salary administration
391 program.
392

393 Chair JP Johnson with The Jails/Law Enforcement/Courts Committee met on Monday,
394 February 7, 2022. There were Statistic Reports given by the Juvenile Detention Center
395 Director, along with reports from the Sheriff’s Enforcement, and Detention. The
396 Committee heard from Drew Smith from the Criminal Justice Coordinating Committee.
397 The Jails/Law Enforcement/Courts Committee passed a Resolution on to the Quorum
398 Court. There was discussion within the Committee regarding the Resolution and public
399 comments were entertained. Sheriff Tim Helder introduced Jim Langford to give a
400 presentation of the proposed Jail expansion.
401

402 The Finance & Budget Committee met Tuesday, February 8, 2022. There were reports
403 given on the Treasurer, Employees’ Insurance and Comptroller. The Committee
404 amended the agenda and added an ordinance that was passed from Personnel. The
405 Committee revisited Unfinished Business on an ordinance, which was passed on to
406 Quorum Court. Then one ordinance was tabled until March, one ordinance amended
407 and a total of eleven ordinances were approved to move to the next Quorum Court
408 Meeting. This report was given by Chair JP Deakins.
409

410 The meeting was adjourned at 8:29PM
411

412 *Myra Collins*

413 Myra Collins

414 Quorum Court Coordinator

Joseph K. Wood
County Judge



Jousy Facundo
Fixed Asset Manager

WASHINGTON COUNTY, ARKANSAS
Purchasing Department Disposal of County Property

February, 2022

A.C.A. §14-16-106 provides for the disposal of surplus property owned by a county. If it is determined by the county judge and the county assessor that any personal property owned by a county is junk, scrap, discarded, or otherwise of no value to the county, then the property may be disposed of in any manner deemed appropriate by the county judge. Below is a list of property disposed for the month of February, 2022.

Court Order	File Date	No Disposal of County Property in February

ORDINANCE NO. 2022-

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE RATIFYING A CONDITIONAL USE PERMIT RECOMMENDED FOR APPROVAL BY THE PLANNING AND ZONING BOARD.

WHEREAS, the Planning and Zoning Board voted to recommend approval of a Conditional Use Permit for the Sqwyr!’s Paradise CUP project on December 9, 2021; and,

WHEREAS, ratification is required by the Quorum Court; and,

WHEREAS, ratification will not affect any appeal rights any person may have.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. That the Conditional Use Permit for the Sqwyr!’s Paradise CUP project recommended for approval by the Planning and Zoning Board is hereby ratified.

JOSEPH K. WOOD, County Judge

DATE

BECKY LEWALLEN, County Clerk

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Introduced by: **JP Willie Leming**

Date of Adoption:

Members Voting For:

Members Voting Against:

Members Abstaining:

Members Absent:

Committee History: Planning and Zoning Board (12-9-2021) Approved

Quorum Court History: Regular Quorum Court (1-20-2022); First Reading
Regular Quorum Court (2-17-2022); Second Reading

ORDINANCE NO. 2022-

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE RATIFYING A CONDITIONAL USE PERMIT RECOMMENDED FOR APPROVAL BY THE PLANNING AND ZONING BOARD.

WHEREAS, the Planning and Zoning Board voted to recommend approval of a Conditional Use Permit for the Premier Storage project on January 13, 2022; and,

WHEREAS, ratification is required by the Quorum Court; and,

WHEREAS, ratification will not affect any appeal rights any person may have.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. That the Conditional Use Permit for the Premier Storage project recommended for approval by the Planning and Zoning Board is hereby ratified.

JOSEPH K. WOOD, County Judge

DATE

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BECKY LEWALLEN, County Clerk

Introduced by: JP Patrick Deakins
Date of Passage:
Members Voting For:
Members Voting Against:
Members Abstaining:
Members Absent:

Committee History: Planning and Zoning Board (1-13-2022) Approved

Quorum Court History: Regular Quorum Court (1-20-2022); First Reading
Regular Quorum Court (2-17-2022); Second Reading



WASHINGTON COUNTY PLANNING OFFICE

2615 Brink Drive, Suite 102
Fayetteville, AR 72701
(479) 444-1724
(479) 444-1786 - Fax

CC 2022-1

ZONING BOARD OF ADJUSTMENTS DECISION APPEAL

I, Cruz Ortiz
(Name)

130 Upton Lane, Ste A, Springdale, AR 72764
(Address)

(479) 361-8720 / ccoconcrete@yahoo.com
(Phone/Email)

FILED
2022 JAN 20 PM 3:41
CLERK OF PROBATE
WASHINGTON CO. AR

am hereby filing an appeal of a recent decision of the Washington County Zoning Board of Adjustments (ZBA). My appeal is being filed within thirty (30) days of the decision as required by Ordinance 2009-33 amending Section 11-206; "Appeals from Board" in "Chapter 11-Planning and Development, Article VI-Zoning" in Washington County, Arkansas.

During the January 13th, 2022 meeting of the Washington County Zoning Board of Adjustments, a Conditional Use Permit (CUP) was presented for approval. The CUP was for a (circle one) Commercial Use / Industrial Use / Residential Use / Other Use, located in Section 12, Township 17 N, Range 29 W, in Washington County.

My understanding of the decision of the Washington County ZBA is as follow:

I understand that we had 3 votes against and 2 in favor. I needed 4 votes in favor, but since only 5 board members were present, our CUP failed to get approved.

I am appealing this decision to the Quorum Court for the following reasons:

I believe more attendance could have helped me to get the 4 votes in favor. County staff contracted COVID which meant that my submittal to the board members was not distributed. Additionally, I am willing to concede to reduced hours as recommended by the board members. If needed, I can put a limit to special events w/in a calendar year and stand by that number and provide assurances to the Board and neighbors. If the special events are a deal stopper to the Board, we will exclude them from our CUP application if deemed warranted.

I understand that the Quorum Court will follow the same procedures as the Washington County ZBA to reach a decision. The decision of the Quorum Court may be appealed to Circuit Court within thirty (30) days from said decision. I certify the above statements are correct to the best of my knowledge.

(If extra room is needed please attach additional sheets.)

Signature

1-18-22

Date

Sec. 11-206. - Appeals from board.

- (a) Decisions of the Board shall be appealed first to the Quorum Court, sitting in its legislative capacity, said appeal shall be perfected by filing a Notice of Appeal on a form to be provided by the Planning Administrator and filed with the County Clerk no later than thirty (30) days after the decision of the Board. The appeal process set forth herein shall also be available for actions of the Quorum Court pursuant to section 11-201.
- (b) Before said thirty-day period has expired, upon concurrence of the Planning Director and the Planning Board Chairman, any decision made by the Board shall be reconsidered by the Board, in which event the thirty-day period to appeal shall be tolled and will begin anew once the Board has reconsidered its decision.
- (c) After the expiration of said thirty-day period, if no appeal has been filed, upon concurrence of the Planning Director and Planning Board Chairman, the Board shall reconsider any conditions it has imposed due to unforeseen circumstances or consequences; such shall be heard by the Board in the same manner as the original Conditional Use Permit application; however, no submittal fees shall be charged. Any such change shall be submitted to the Quorum Court for ratification.
- (d) No hearing before the Quorum Court shall be set until the full thirty-day appeal period has run.
- (e) Individual notice to surrounding property owners shall be given by regular mail to those who were notified of the Board meeting no less than twenty (20) days prior to said hearing by the Planning Office.
- (f) Any written documents that are to be submitted to the Quorum Court shall be submitted to the County Judge's Office no later than ten (10) days prior to the hearing; by majority vote of the Quorum Court, any submission later than ten (10) days prior to the meeting may be received.
- (g) The Quorum Court will follow the same procedures as the Board, unless it decides otherwise by majority vote. The Quorum Court shall memorialize its decision by ordinance.
- (h) After the decision by the Quorum Court, an appeal may be taken to Circuit Court within thirty (30) days from said decision.

(Ord. No. 2006-66, Art. 16, 11-9-06; Ord. No. 2009-33, Art. 1, 5-14-09; Ord. No. 2009-67, Art. 1, 12-10-09; Ord. No. 2010-02, Art. 1, 1-14-10)

From: [Diane Lashbrooks](#)
To: [Sita Nanthavong](#)
Subject: Nazareth Retreat Center questions
Date: Thursday, December 9, 2021 10:33:18 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name is Sally Dudley and I received notification of this meeting. I am unable to attend in person due to plans to be out of town. I will be live streaming this meeting but have some questions I'd like to see addressed.

Why was there no early notification? They have been working on that property for well over a month. Is this project affiliated with the other Nazareth Retreat Centers across the nation? If so, why only the limited information in the registered letter? Is this a for profit entity? Will property be zoned commercial? Will someone be on premises to regulate use and events? Will alcohol be allowed? If so, who will regulate this and has the ABC board been notified?

We have other concerns as well.

The county road infrastructure cannot support large volumes of traffic. Traffic increase is also dangerous in neighborhood.

Noise, light, and trash pollution on the property affecting others around them.

How will all the clear cutting and excavating affect surrounding properties concerning erosion?

Thank you for your attention to these details.

Sally Dudley

Sent from my iPhone

From: [Tracy Vaughan](#)
To: [Joel Kelsey](#); [Philip Humbard](#); [Neil Helm](#); [Jay Pearcy](#); [Lisa Miller](#); [Loren Shackelford](#); [Kiara Luers](#)
Cc: [Sita Nanthavong](#)
Subject: Project: 2021-386, Nazareth Retreat Center
Date: Wednesday, December 8, 2021 7:12:04 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

I am writing to express my concerns regarding the requested Conditional Use Permit application to build a Nazareth Retreat Center at 13816 Vaughan Rd, Springdale, AR. My husband and I own three properties along Vaughan Road across from the proposed development property and have lived on this road for almost 30 years.

My major concerns about such an installation involve safety/security, light pollution and noise pollution

Safety/Security

- 1) What are the proposed hours of operation for this facility?
- 2) Will it be closed off with a gate when it is not during operating hours?
- 3) What kind of security personnel will be provided for this center? At the current time, this property is rough country and not conducive to people gathering. If facilities are constructed without sufficient security, it can become a magnet for undesirable activity that could pose safety issues for the property, as well as those of us who live nearby.
- 4) What about traffic safety? Vaughan Road is a narrow dead end road. It is the only access for dozens of homes below (toward the lake) from the proposed center. If, as the mission statement suggests, they plan to have large events, the additional traffic could cause regular disruptions for neighbors. Also, if traffic becomes congested along Vaughan Road, it could impede any required emergency vehicles to those neighboring homes.

Light Pollution:

- 1) Such a compound will surely require many safety lights for the buildings and parking lots. Are there restrictions on how bright they can be and the directions they must be placed to avoid shining into neighboring properties?

Noise Pollution

- 1) As a rural community we do not have noise ordinances for protection and noise travels VERY well along the hills. Many nearby residents spend a great deal of time outdoors and enjoy the relative quiet of their properties. What would be done to prevent the noise from proposed large gatherings such as weddings and reunions from regularly disturbing the neighbors?
- 2) Is there a maximum decibel level at which these gatherings can operate?
- 3) Is there a time cutoff after which the noise of bands or parties would need to cease?
- 4) What recourse would we, as neighbors, have when the noise is a nuisance?

I respectfully request that you consider denying this application unless specific methods for

mitigating the negative impact on neighboring properties are required with information regarding such regulations being clearly distributed to the neighboring land owners

Sincerely,
Tracy Vaughan
18191 Vaughan Rd,
Springdale, AR

Planning Office
Washington County, Arkansas
2615 S. Brink Dr.
Fayetteville, AR 72701
479-444-1724
www.washingtoncountyar.gov

WASHINGTON COUNTY
PLANNING BOARD
STAFF REPORT

10.4

Report Date: January 7, 2022

PROJECT INFORMATION

Applicant: Blew & Associates, PA	Property Owner: COO Investment, LLC
Project Name: Nazareth Retreat Center CUP	Location: 13816 Vaughan Rd WC 382 Springdale, AR 72764
Project Number: 2021-386	Parcel Number: 001-14386-000, 001-14922-003 001-14387-000
Project/Request Type: Conditional Use Permit	
Description: The applicant is requesting conditional use permit approval to allow operation and development of a retreat center.	

SITE INFORMATION

Planning Area: None	QC District: 5, Patrick Deakin
Acreage: 45.93 acres +/-	School District: Springdale
Current Zoning: Agriculture/Single-Family Residential 1 unit per acre	Fire District: Nob Hill Rural
FIRM: 05143C0095F	Wetlands: None
Watershed: Roberts Creek / Beaver Lake	

UTILITIES

Electricity: Ozark Electric	Gas: Blackhills
Cable: Cox Communications	Phone: AT&T
Water: Springdale Water	

PLANNER INFORMATION

Planner Assigned: Sita Nanthavong	Email: snanthavong@washingtoncounty.gov
	Phone: 479-444-1724

BACKGROUND/SYNOPSIS

This project was tabled at the December 9, 2021 Planning Board meeting by the attending members.

The applicant is requesting conditional use permit approval to allow the operation and development of a retreat center.

The zoning is for Agricultural and Single Family Residential uses with a maximum density of one (1) residential unit per acre.

The project parcel is not in a planning area.

The subject parcels equal approximately 45.93 acres in size.

The project is located on the northern side Vaughan Rd WC382.

Due to the size of the proposal, the applicant will return for Large Scale Development review once the CUP has been approved and ratified.

The applicant intends to develop in stages. The first stage will include a retreat center with an outdoor pavilion, an office building, a splash park and pool. The second stage will include a boat storage complex. The third stage will include a zip line facility.

Please see the attached documents.

COMPATIBILITY

Surrounding Land Use and Zoning

<i>Direction from Site</i>	<i>Land Use</i>	<i>Zoning</i>
North	Agricultural/Residential	Ag/SF Res 1 unit/ac
South	Agricultural/Residential	Ag/SF Res 1 unit/ac
East	Agricultural/Residential	Ag/SF Res 1 unit/ac
West	Agricultural/Residential	Ag/SF Res 1 unit/ac

Existing Condition of Property

The subject property is zoned Ag/SF Res 1 unit/acre. It is in an area that is mixed with agricultural and residential uses.

The property is accessible from Vaughan Road WC 382.

The property is currently vacant.

County's Land Use Plan

According to the County's Land Use Plan:

SECTION III. PHYSICAL DEVELOPMENT

A. LAND USE CONSIDERATIONS

2. LIGHT COMMERCIAL

Continuing with the primary goal of retaining the rural characteristics of Washington County, light commercial uses should be allowed if:

Not incompatible with adjacent residential and agricultural uses; or by conditions placed on such to mitigate its impact. Together with community facilities and compatible residential uses, this use typically serves as a buffer between general commercial and strictly residential uses.

The proposed retreat center is situated just south of AR Hwy 412 and west of Beaver Lake. The main buildings for the retreat will be situated along the southern parts of the property near Vaughn Road.

Future Land Use / Zoning Designation

The current zoning for the project parcel is Ag/SF Res 1 unit/ac. If the project is approved, the zoning will stay the same, but with a conditional use allowance.

Neighbor Comments and Concerns

Pursuant to Sec 11-204, Sec 11-71 (2a), and Sec 11-101b of the Washington County Code of Ordinances, notifications were sent by certified letter to all adjoining property owners within 300 feet.

To date, Staff has not received any comments.

Staff will update the Planning Board if there are comments.

Criteria for Conditional Uses

According to Sec 11-200(a) Criteria for allowance of conditional uses:

The Board shall hear and decide requests for a conditional use and may authorize such if it finds:

<i>Criteria</i>	<i>Staff Comments</i>
1 That a written application has been filed with the Planning Office and the appropriate fee has been paid.	The applicant has submitted a written application and tendered the appropriate fee.
2 That the applicant has provided proof that each property owner as set out in section 11-204 has been notified by return receipt mail.	Notifications of public hearing was sent via certified receipt. Staff has copies of the certified receipts as proof.
3 That adequate utilities, roads, drainage and other public services are available and adequate or will be made available and adequate if the use is granted.	Adequate utilities are available or will be made available at the applicant or property owner’s expense.
4 That the proposed use is compatible with the surrounding area.	The proposed retreat center will focus on community and family. Beaver Lake is situated to the east of the property and Hwy 412 is to the northwest.
5 That the establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.	The proposed retreat should not pose as detrimental or endanger the general welfare and health of the public and nearby residents. A retreat is usually a place of rest.
6 That the conditional use will not be injurious to the use and enjoyment of other property in the surrounding area for the purposes already permitted, nor substantially diminish and impair property values within the surrounding area.	The proposed retreat will be self-contained. The amenities are private and should not pose as injurious to the surrounding properties.
7 That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding area for uses permitted in the zone.	The installation and development of the retreat should not impede the normal and orderly development and improvement of the surrounding area for uses permitted.

SUMMARY OF AGENCY COMMENTS – TECHNICAL REVIEW

Please see the attached comments.

CONDITIONS OF APPROVAL

Staff has reviewed the CUP submittal documents and recommends the following conditions:

Utility Conditions

1. Any damage or relocation of existing facilities will be at the owner’s or developer’s expense.
2. All offsite easements that are needed for utility service to the property/properties must be obtained by the developer and easement documentation may be required by the utility company.

3. All onsite easements must be shown on the plat and recorded with the County.
4. It is the owner/developer's responsibility to contact each utility provider to determine what permits and/or easements will be required.

Fire/Safety Conditions

1. The project will need to be constructed/developed by the Arkansas Fire Prevention Code. Code research and adherence will be the responsibility of the owner or their designee (Architect/Engineer).

Sewer/Septic Conditions

1. The applicant submitted a preliminary site review of the seasonal water tables for the properties. The soil appears to be acceptable. Final permitting and design will have to be submitted and approved by the Arkansas Department of Health.

Environmental Conditions

1. No stormwater permit is required by Washington County at this time; however, applicant must comply with all rules and regulations of the Arkansas Department of Environmental Quality. www.adeg.state.ar.us

Drainage/Engineering Conditions

1. All concerns from the Washington County Engineer must be addressed before final approval of this project may be given.
2. The Washington County Engineer must review and approve construction plans (if applicable) before the applicant may start to break ground for development.

Road Conditions

1. A permit from the Washington County Road Department or the Arkansas Department of Transportation may be required prior to any work being completed in the right-of-way.

Addressing Conditions

1. A physical 911 address may be required. Please complete the Address Application, if needed.

Signage Conditions

1. Signs shall not be directly lit.
2. Signs cannot be within the right of way.

Lighting Conditions

1. All outdoor lighting must be indirectly lit.

Screening Conditions

1. Trash collection areas must be opaquely screened and gated.
2. This request is for compatibility and use only. The applicant may be requested to screen their facility with opaque fencing or with trees/shrubs during the large scale development review.

Planning Conditions

1. This CUP request is for a retreat center. Should there be any deviation from this, the applicant must request an amendment to their CUP.
2. The total area used for this CUP exceeds one (1) acre. The applicant process through the large scale development review process.
3. All questions and concerns from the Technical Review must addressed before final approval may be given.

Standard Conditions for All Projects

1. Pay neighbor notification mailing fees within 30 days of project approval. Any extension must be approved by the Planning Office (fees will be calculated once the info is available from the post office). This total will be calculated for this project once all invoices are received.
2. Pay any engineering fees. This total will be calculated for this project once all invoices are received.
3. Any further splitting or land development not considered with this approval must be reviewed by the Washington County Planning Board/Zoning Board of Adjustments.
4. All CUPs must be ratified by the Quorum Court.
5. Final inspection approval is required prior to issuance of CUP approval letter.
6. It is the applicant's responsibility to contact the Planning Office when inspections are needed.
7. Per Washington County ordinance Sec 11-75 (7): All plats for land developments approved by the Washington County Planning Board shall be contingent upon receipt by the Developer of any Federal, State, or local or approvals, if any, whether known or unknown to the Board or the Developer.
8. All conditions shall be adhered to and completed in the appropriate time period set out by ordinance.

STAFF PROJECT MAPS

Street Centerlines

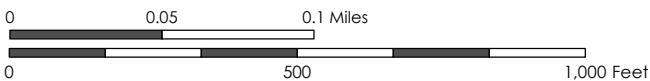
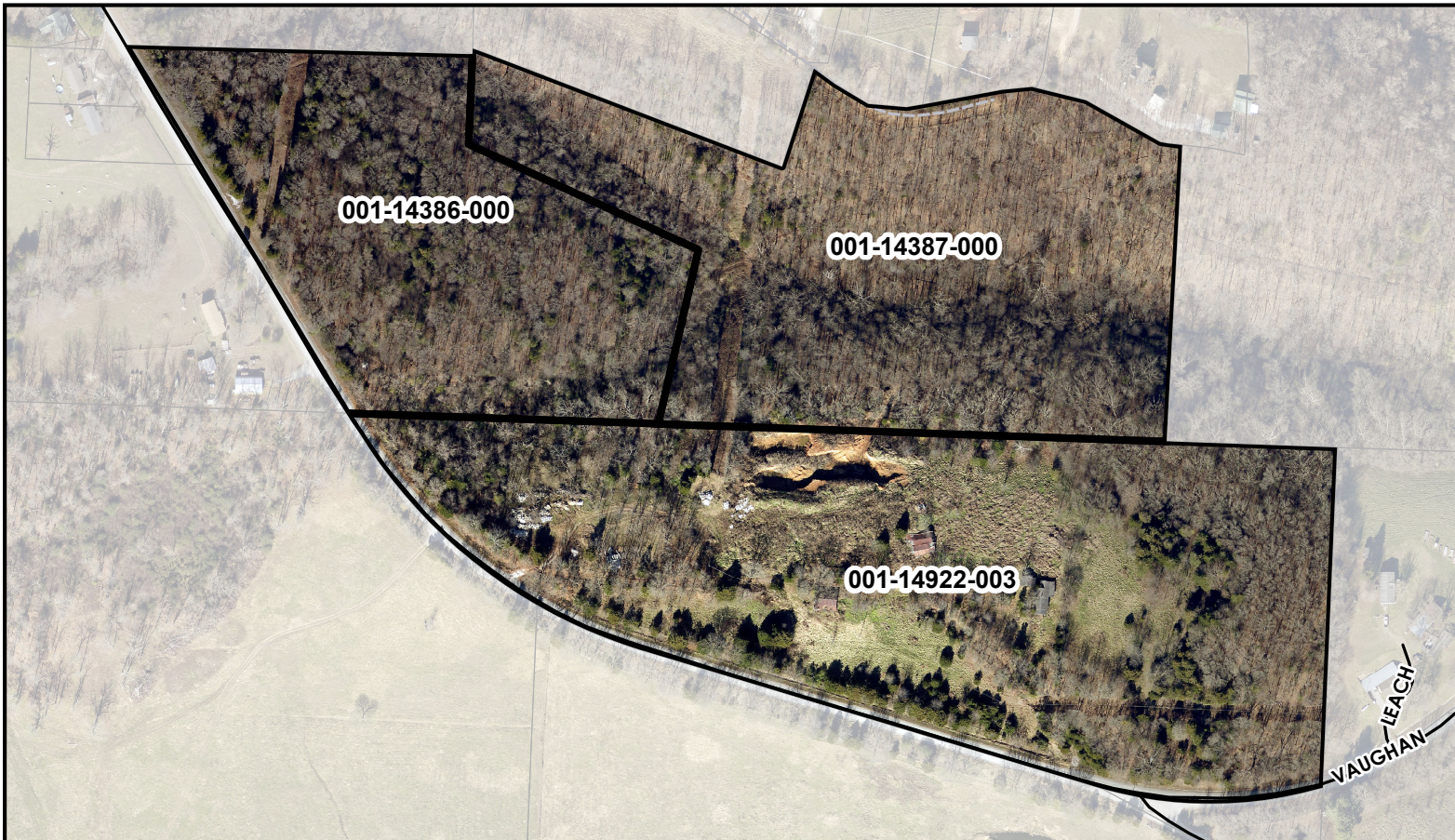
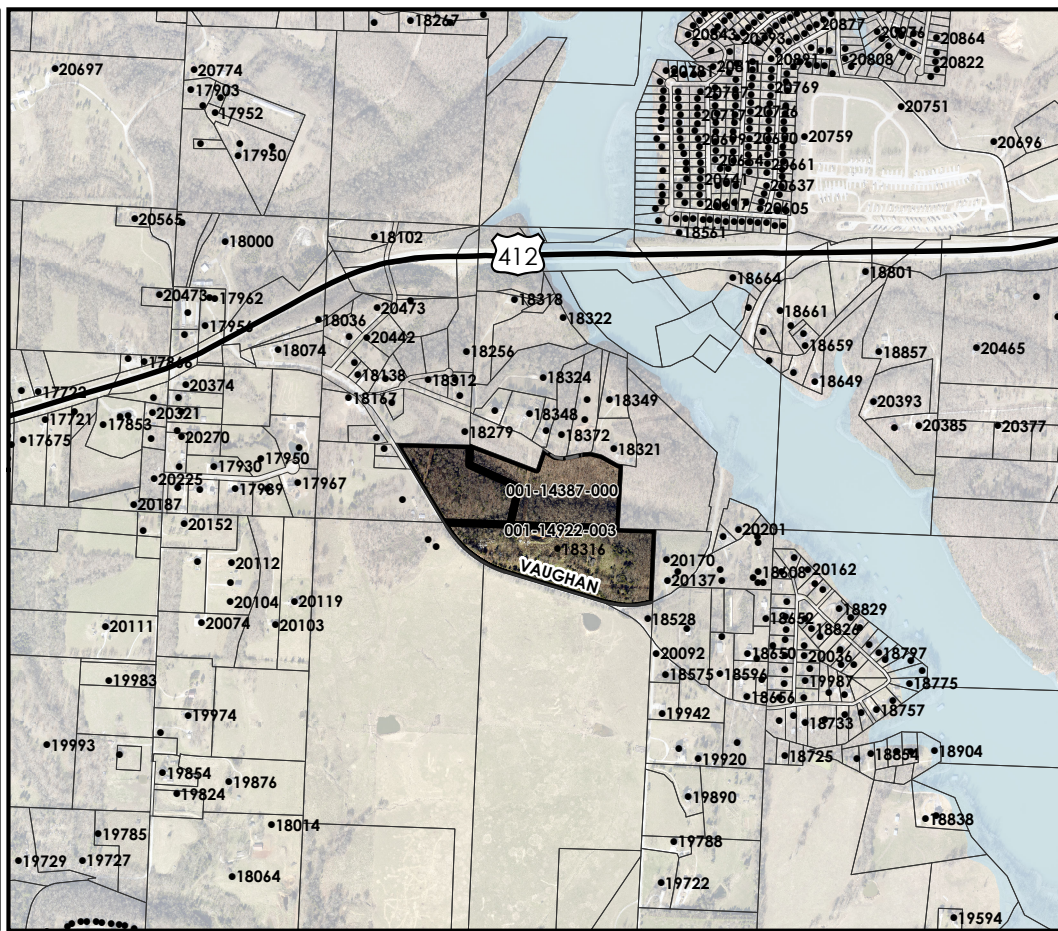
- Paved Road
- - - Unpaved Road

Flood Hazard Area

- A or AE Flood Zone
- Shaded Zone X



Parcel and street data is drawn over Assessor GIS aerial imagery (2021). This map is not to be misconstrued as survey information. Parcel locations are based off the best material at hand.



APPLICANT SUBMITTAL/INFORMATION

BLEW & ASSOCIATES, PA
CIVIL ENGINEERS & LAND SURVEYORS

November 5, 2021

Washington County
2615 Brink Drive
Fayetteville, AR 72701

SUBJECT: Nazareth Retreat Center

To Whom It May Concern:

CCO Investments, LLC is proposing a 13,112 sf Retreat Center with an Outdoor Pavilion, Office Building, Splash Park and Pool. Phase 2 will be a Boat Storage Complex. Phase 3 will be an outdoor zip line facility. The facility will be located on Vaughan Road near the US Highway 412 bridge east of Springdale, Arkansas.

Water:

Water shall connect to the Existing 8 inch water line that runs through the property.

Septic:

The developer is proposing a decentralized Septic System. Dennis Birge is designing the system. Preliminary data has been included.

Traffic:

The Institute of Transportation Engineers' (ITE) Trip Generation Manual 10th Edition, was utilized in calculation the traffic volumes expected to be generated by the single family subdivision to be located on East Mission Boulevard (Arkansas Highway 45) in Washington County, Arkansas. Please see below:

Land Use	Units	ITE Code	24-Hour Two-Way Weekday Volume
Multi – Purpose Recreation Facility	32,142.34 sf	435	115
Boat Storage	14,880 sf	151	2.5
<i>Total Entering + Exiting</i>			<i>117.5</i>

Franchise Utilities:

The developer will work with the remaining utility companies to provide any Easements that should be needed. Ozark's Electric is to provide the Electrical to the Site.

Storm Water:

Stormwater flows easterly towards Beaver Lake. The site drains to a ravine in the center of the site and then releases towards the east.

Streets

Access to the Site will be provided along Vaughan Road and out to Hwy 412 which is less than a mile just north of the site.

RECEIVED
Nov 5, 2021
WASHINGTON COUNTY
PLANNING

PROJECT #
2021-386
WASHINGTON COUNTY
PLANNING

c:\21-029-cco\concept drawings\21-029-concept 003.dwg - Plotted on 11/23/2021 10:11:53 AM @ a scale of 1:1 to autocad pdf (smaller file).pc3 by Jorge Du Quesne

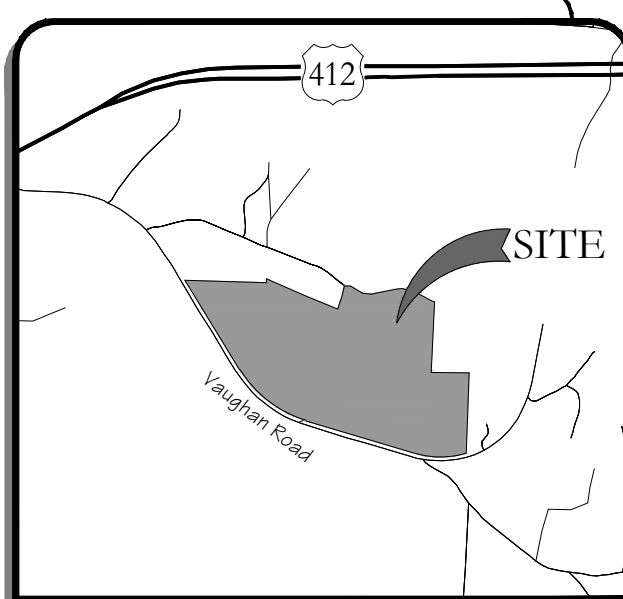
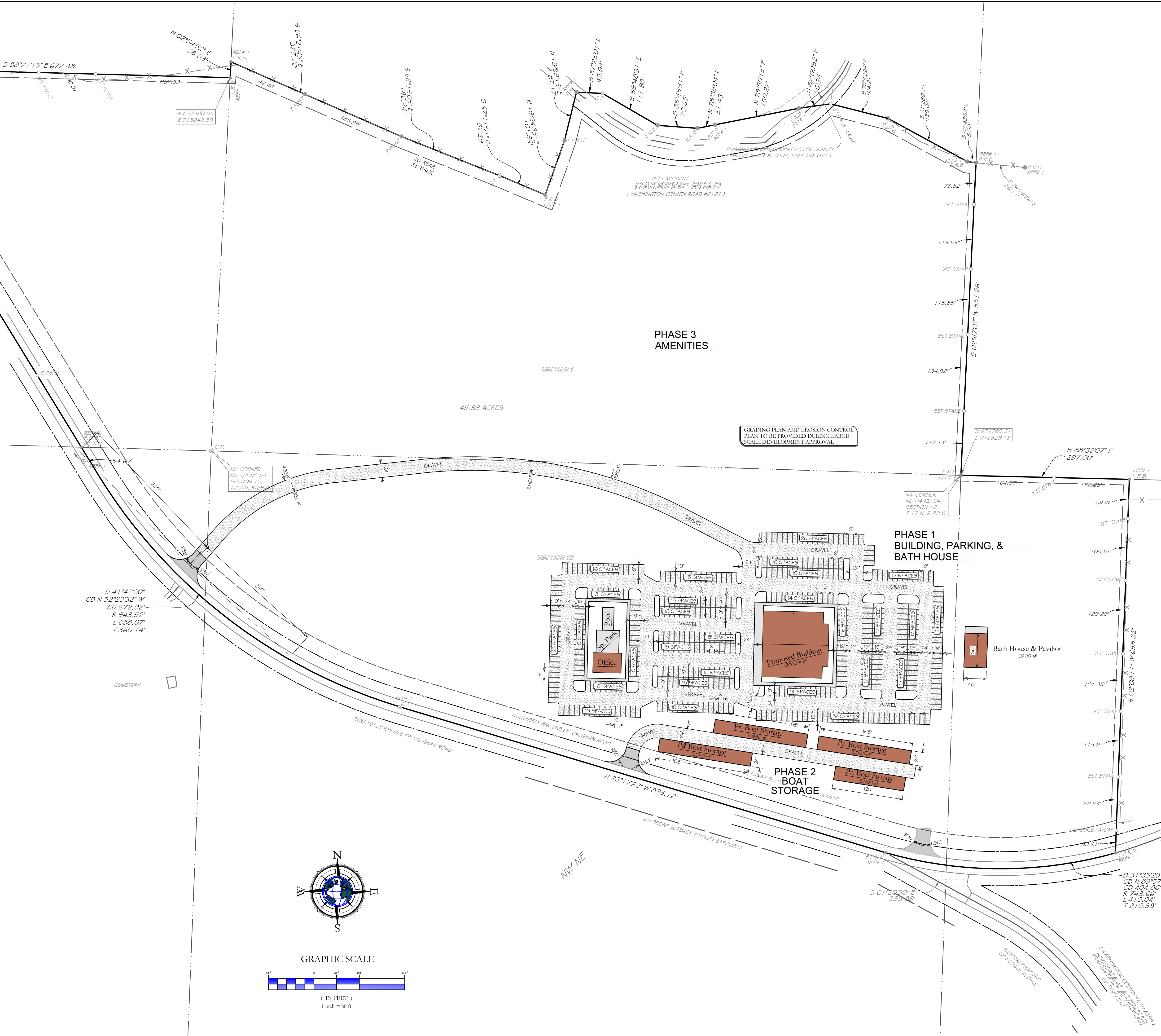
Site Information:

PROPERTY INFORMATION			
Gross Site Area:	2,000,820.47 sf	45.93 acres	
Proposed Dedicated R.O.W.:	84,179.11 sf	1.93 acres	
Net Site Area:	1,916,641.36 sf	44.00 acres	
Zoning:	County		
ZONING REGULATIONS			
Front Setback:		25 ft	
Side Setback:		10 ft	
Rear Setback:		20 ft	
Lot Width Minimum:		0 ft	
Min Buildable Street Frontage:		0%	
Max Building Height:		0 ft	
SITE INFORMATION			
Total Paved Area:	690.88 sf	0.02 acres	
Total Gravel Area:	189,903.57 sf	4.36 acres	
Total Sidewalk Area:	9,584.10 sf	0.22 acres	
Total Building Footprint Area:	32,142.34 sf	0.74 acres	
- Main Building:	13,112.34 sf	0.30 acres	
- Bath House & Pavilion:	2,400.00 sf	0.06 acres	
- Office:	1,750.00 sf	0.04 acres	
- Boat Storage:	14,880.00 sf	0.34 acres	
Total Impervious Area:	232,320.89 sf	12.1%	
Total Pervious Area:	1,684,320.47 sf	87.9%	
PARKING REGULATIONS			
Required Spaces Ratio:	1 Space / 200 sf		
Required Spaces (Total):		86	
Provided Spaces (Total):		459	
Provided Accessible Spaces:		9	

Proposed Features:

Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-Of-Way Line
	Setback Line
	Easement Line
	Zoning Limits
	Street / Drive Centerline
	Curb And Gutter
	Thickened Edge Of Pavement
	Edge Of Gravel
	Firelane Striping
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk (See Site Plan For Dimensions)
	General Fence Line (see Plan For Type)
	Chain Link Fence Line
	Board Fence Line
	Parking Counter
	Storm Catch Basin(s)
	Retaining Wall
	See Utility Plan For Line Sizes
	Gate Valve
	Fire Hydrant & Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Manhole
	Utility Pole
	Light Pole

Note:
 Only Symbols That Appear On This Sheet Are Shown In This Legend.
 See Survey For Existing Features Legend.
 See Cover Sheet For Abbreviation List.



*** CONCEPTUAL DISCLAIMER ***
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Site Plan
 Conditional Use Permit For:
Nazareth Retreat Center
 18316 Vaughan Road (WC 382) Springdale, Arkansas
CCO Investments LLC
 130 Upton Ln.
 Springdale, AR 72764
 (479) 361-8720

CONCEPTUAL
 NOT FOR CONSTRUCTION

BLEW & ASSOCIATES, PA
 CIVIL ENGINEERS & LAND SURVEYORS
 3825 NORTH SHILOH DRIVE
 FAYETTEVILLE, ARKANSAS 72703
 OFFICE: 479.443.4506
 FAX: 479.582.1883
 www.BLEWINC.com
 Certificate of Authorization # 1534

DATE:	2021-11-05	JOB NUMBER:	21-029
DRAWN BY:	J. Du Quesne	REVIEWED BY:	
DRAWING NAME:	21-029 Concept 003.dwg		
SHEET NUMBER:	C2		

PRELIMINARY SITE REVIEW OF SEASONAL WATER TABLES

September 17, 2021

DENNIS BIRGE, DR# 1534220

Phone: 479-409-3958

County: Washington

Street: Vaughan Rd (WC 382)

Parcel #: 001-14386-000, 001-14387-000, and 001-14922-003

Dear Mr. Ortiz,

The above mentioned property was reviewed on September 17, 2021, by Dennis Birge (soil certified by ADH) and by the observed soil analysis, this soil appears to be *acceptable soil* for septic systems.

Please find the summary, soil analysis, and pit location map. Pages 2 are my interpretations of the soils SWT (seasonal water tables) for the pits based on its redoximorphic features and their locations within the pits.

It does not appear to be any existing wells, ponds, or streams within 100 feet of the observed soil pits. Please keep in mind that any part of the new septic system is required to be setback 100' from any well.

Please be advised that this is a preliminary report and that the Arkansas Department of Health has not reviewed this data at this time. The ADH will only review the data once the full septic system design has been completed, along with the permit and its fees being paid. ***This is not an approved permit for construction.*** This is a preliminary report and does not account for all the information that may be required by ADH at the time of applying for a permit. No information provided in this document is authorized for third party use at any time. The information provided herein should only be considered accurate at the time the information was collected.

If you have any questions or concerns, please call me at 479-409-3958.

Sincerely,

Dennis Birge

Dennis Birge
DR # 1534220

RECEIVED
Nov 5, 2021
WASHINGTON COUNTY
PLANNING

PROJECT #
2021-386
WASHINGTON COUNTY
PLANNING

SOIL ANALYSIS

Pit#1

No Bedrock encountered, within the top 48".

Based on the observed and adjusted seasonal water tables, this pit appears to be an acceptable site for a septic system.

The loading rate observed was 0.73 GPD/SQFT.

Brief Water table observed at 22"

Moderate water table observed at 32"

No Long water table observed.

Note: Lateral lines are assumed to be spaced at 10' from center to center.

Note: It is required that you have room on each property for two areas of lateral lines, a primary area and a secondary area. This would likely require two new soil pits at that time, one for each area.

Secondary areas not required on lots platted prior to 1977.

Note: Septic systems require a 100' setback distance from Wells.

Note: No evidence of the area containing any fill material at any time.

Note: Other factors not found by this soil analysis could rule out the possibility of ADH approval for construction.

Pit#2

No Bedrock encountered, within the top 48".

Based on the observed and adjusted seasonal water tables, this pit appears to be an acceptable site for a septic system.

The loading rate observed was 0.73 GPD/SQFT.

Brief Water table observed at 22"

Moderate water table observed at 32"

No Long water table observed.

Note: Lateral lines are assumed to be spaced at 10' from center to center.

Note: It is required that you have room on each property for two areas of lateral lines, a primary area and a secondary area. This would likely require two new soil pits at that time, one for each area.

Secondary areas not required on lots platted prior to 1977.

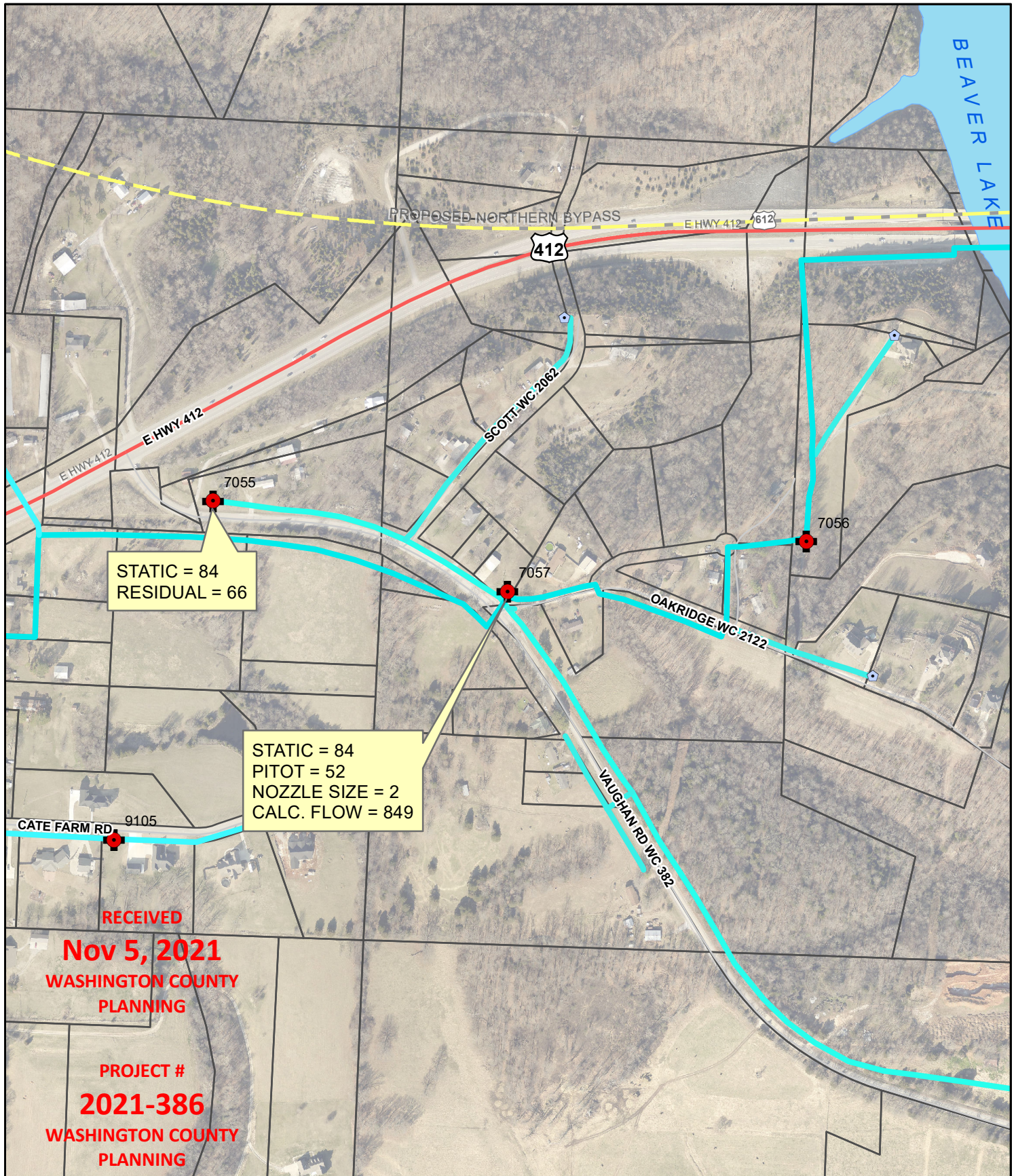
Note: Septic systems require a 100' setback distance from Wells.

Note: No evidence of the area containing any fill material at any time.

Note: Other factors not found by this soil analysis could rule out the possibility of ADH approval for construction.

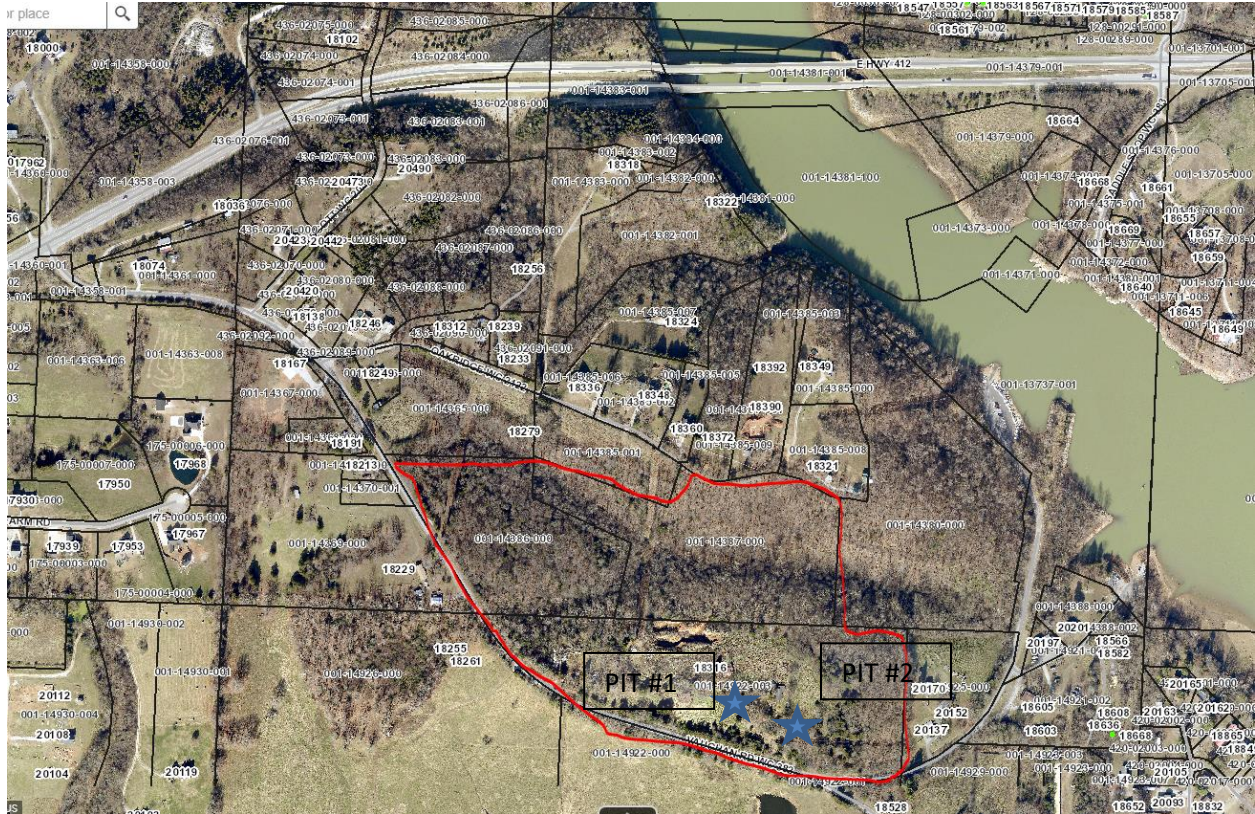
ADDRESS: 18316 Vaughan Rd - Nazaret Retreat Center
TEST DATE: 10/4/21
TEST BY: M.B.
TIME: 1:34-1:36 P.M.

FLOW TEST MAP



Data Disclaimer: Water distribution information is taken at a single point in time and is subject to significant variation. The variability of the water system due to changes in usage, demand and operating conditions precludes guarantee that expectations regarding pressures and flows will be exacting. This information is provided to the requestor for evaluation purposes only, without warranty of any kind, including but not limited to any expressed or implied warranty arising by contract, statute or law. In no event regardless of cause, shall the Springdale Water & Sewer Commission be liable for any direct, indirect, special, punitive or consequential damages of any kind whether such damages arise under contract, tort, strict liability or in equity.

Locations of site review pit



Fire Protection

Fire Hydrants will be provided interior to the site as required Arkansas Fire Prevention Code.

Sincerely,

Jorge Du Quesne
Blew & Associates, PA

TECHNICAL REVIEW COMMENTS

q:\21-029-cco\concept drawings\21-029-concept 002.dwg - Plotted on 11/5/2021 9:52:47 AM @ a scale of 1:1 to autocad pdf (smallest file) by j.duquesne

Site Information:

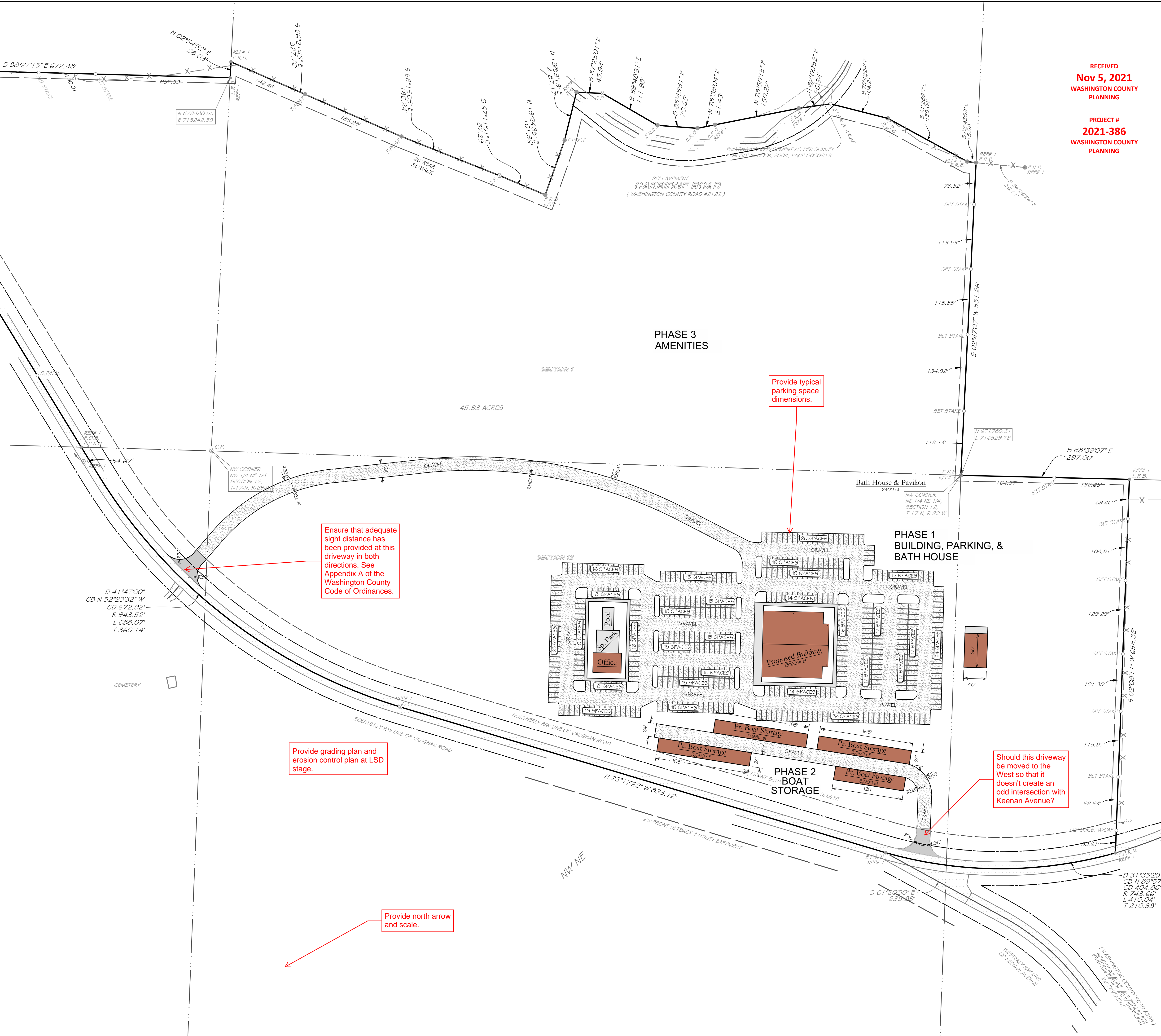
PROPERTY INFORMATION			
Gross Site Area:	2,000,820.47 sf	45.93 acres	
Proposed Dedicated R.O.W.:	84,179.11 sf	1.93 acres	
Net Site Area:	1,916,641.36 sf	44.00 acres	
Zoning:	County		
ZONING REGULATIONS			
Front Setback:		25 ft	
Side Setback:		10 ft	
Rear Setback:		20 ft	
Lot Width Minimum:		0 ft	
Min Buildable Street Frontage:		0%	
Max Building Height:		0 ft	
SITE INFORMATION			
Total Paved Area:	690.88 sf	0.02 acres	
Total Gravel Area:	189,903.57 sf	4.36 acres	
Total Sidewalk Area:	9,584.10 sf	0.22 acres	
Total Building Footprint Area:	32,142.34 sf	0.74 acres	
- Main Building:	13,112.34 sf	0.30 acres	
- Bath House & Pavilion:	2,400.00 sf	0.06 acres	
- Office:	1,750.00 sf	0.04 acres	
- Boat Storage:	14,880.00 sf	0.34 acres	
Total Impervious Area:	232,320.89 sf	12.1%	
Total Pervious Area:	1,684,320.47 sf	87.9%	
PARKING REGULATIONS			
Required Spaces Ratio:	1 Space / 200 sf		
Required Spaces (Total):		86	
Provided Spaces (Total):		459	
Provided Accessible Spaces:		9	

Proposed Features:

Feature	Description
---	Property Line
- - -	Onsite Property Line
---	Offsite Property Line
---	Right-Of-Way Line
---	Setback Line
---	Easement Line
---	Zoning Limits
---	Street / Drive Centerline
---	Curb And Gutter
---	(See Site Plan For Size)
---	Thickened Edge Of Pavement
---	Edge Of Gravel
---	Firelane Striping
---	Asphalt Pavement (See Detail Sheet For Pavement Sections)
---	Concrete Pavement (See Detail Sheet For Pavement Sections)
---	Concrete Sidewalk
---	(See Site Plan For Dimensions)
---	General Fence Line
---	(see Plan For Type)
---	Chain Link Fence Line
---	Board Fence Line
---	Parking Counter
---	Storm Catch Basin(s)
---	Retaining Wall
---	See Utility Plan For Line Sizes
---	Gate Valve
---	Fire Hydrant & Assembly
---	Water Meter - Single
---	Water Meter - Double
---	Sanitary Sewer Manhole
---	Utility Pole
---	Light Pole

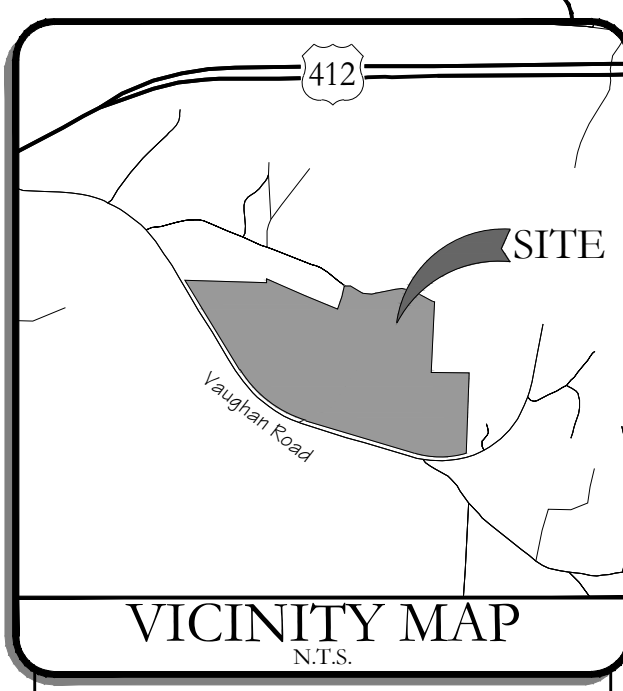
Note:

- Only Symbols That Appear On This Sheet Are Shown In This Legend.
- See Survey For Existing Features Legend.
- See Cover Sheet For Abbreviation List.



RECEIVED
Nov 5, 2021
 WASHINGTON COUNTY
 PLANNING

PROJECT #
2021-386
 WASHINGTON COUNTY
 PLANNING



*** CONCEPTUAL DISCLAIMER ***

THIS DRAWING WAS CREATED FOR CONCEPTUAL PURPOSES ONLY. THE SITE INFORMATION WAS OBTAINED FROM CLIENT'S DOCUMENTS AND/OR CITY INFORMATION. THEREFORE, THE DESIGN MAY VARY DEPENDING ON ACTUAL TOPOGRAPHY, DRAINAGE CONDITIONS, SOILS, SURVEY, ETC. ANY ADDITIONAL DATA AND/OR SITE CONDITIONS COULD RESULT IN CHANGES TO THE OVERALL DESIGN OF THE SITE INCLUDING BUT NOT LIMITED TO (PARKING LAYOUT, NUMBER OF BUILDINGS, AMOUNT OF DEVELOPABLE LAND, ACCESS TO THE SITE, ETC.) AND MAY INCREASE ESTIMATED DEVELOPMENT COSTS.

Site Plan

Conditional Use Permit For:

Nazareth Retreat Center
 18316 Vaughan Road (WC 382) Springdale, Arkansas
CCO Investments LLC
 130 Upton Ln.
 Springdale, AR 72764
 (479) 361-8720

CONCEPTUAL
 NOT FOR CONSTRUCTION

BLEW & ASSOCIATES, PA
 CIVIL ENGINEERS & LAND SURVEYORS

3825 NORTH SHILOH DRIVE
 FAYETTEVILLE, ARKANSAS 72703
 OFFICE: 479.443.4506
 FAX: 479.582.1883
 www.BLEWINC.com

Certificate of Authorization # 1534

DATE:	2021-11-05	JOB NUMBER:	21-029
DRAWN BY:	J. Du Quesne	REVIEWED BY:	
DRAWING NAME:	21-029 Concept 002.dwg		
SHEET NUMBER:	C2		

For clarity, can these tables for pre and post be updated to coordinate with the drainage area maps? The labeled offsite area is only shown to be 11.5 acres on the drainage area maps.

PRE-DEVELOPED PEAK FLOWS

The Overall Subject Site Currently Consists of approximately 45.93 Acres of undeveloped land that slopes toward the east.

SCS CURVE NUMBERS

The SCS Curve Numbers were selected from USDA’s National Resources Conservation Service’s TR-55 Table 2-2a.

<i>PRE AREA + OFFSITE AREA</i>				
Cover Description	Hydrologic Group	CN	Area (ac)	CN x Area
<i>PRE AREA:</i>				
Woods - Grass Combination	A	32	7.27	232.64
	D	79	4.24	334.96
<i>OFFSITE AREA:</i>				
Woods - Grass Combination	A	32	33.41	1069.12
	D	79	12.53	989.87
<i>TOTALS:</i>			57.45	2626.59

WEIGHTED CN: 46

Is there not existing impervious area from Vaughan Road?

TIME OF CONCENTRATION

The time of concentration was calculated using the Sheet Flow and Shallow Concentrated Methods as dictated in USDA’s TR-55 Manual. See Appendix F for Time of Concentration calculations.

STORM DISTRIBUTION

The Storm Distribution used for the site was a Type III Rainfall Distribution. The distribution was selected based on Figure B-2, Appendix B of the NRCS’s TR-55.

PRE-DEVELOPED PEAK FLOWS

The Pre-Developed Peak Flows are calculated using the SCS Method (Unit Hydrograph), which takes into account the Weighted Curve Number (CN), the Time of Concentration (tc), the Storm Distribution, and the Drainage Area for the Basin (A). The Pre-Developed Peak Runoff (cfs) is listed in the table below:

Area	Storm Event				
	2- year	10- year	25- year	50- year	100- year
Pre Area + Offsite Area	2.31 cfs	17.25 cfs	29.23 cfs	43.44 cfs	55.26 cfs

See Appendix F for Peak Runoff calculations.

If imported fill is required, a HSG of D should be assumed.

POST-DEVELOPED PEAK FLOWS

The Post Construction Site Shall Consist of a Retreat Center w/ an Office and Amenities.

SCS CURVE NUMBERS

The SCS Curve Numbers were selected from USDA’s National Resources Conservation Service’s TR-55 Table 2-2a.

<i>POST AREA + OFFSITE AREA</i>				
Cover Description	Hydrologic Group	CN	Area (ac)	CN x Area
<i>POST AREA:</i>				
Gravel	A	76	2.57	195.32
	D	91	1.77	161.07
Impervious	A	98	0.90	88.20
	D	98	0.06	5.88
Woods - Grass Combination	A	32	3.80	121.60
	D	79	2.41	190.39
<i>OFFSITE AREA:</i>				
Woods - Grass Combination	A	32	33.41	1069.12
	D	79	12.53	989.87
<i>TOTALS:</i>			57.45	2821.45

WEIGHTED CN: 49

TIME OF CONCENTRATION

The time of concentration was calculated using the Sheet Flow and Shallow Concentrated Methods as dictated in USDA’s TR-55 Manual. See Appendix F for Time of Concentration calculations.

STORM DISTRIBUTION

The Storm Distribution used for the site was a Type III Rainfall Distribution. The distribution was selected based on Figure B-2, Appendix B of the NRCS’s TR-55.

POST-DEVELOPED PEAK FLOWS

The Post-Developed Peak Flows are calculated using the SCS Method (Unit Hydrograph), which takes into account the Weighted Curve Number (CN), the Time of Concentration (tc), the Storm Distribution, and the Drainage Area for the Basin (A). The Post-Developed Peak Runoff (cfs) is listed in the table below:

Area	Storm Event				
	2- year	10- year	25- year	50- year	100- year
Post Area + Offsite Area	4.39 cfs	23.61 cfs	37.54 cfs	53.46 cfs	66.35 cfs

See Appendix F for Peak Runoff calculations.

POST VS. PRE:

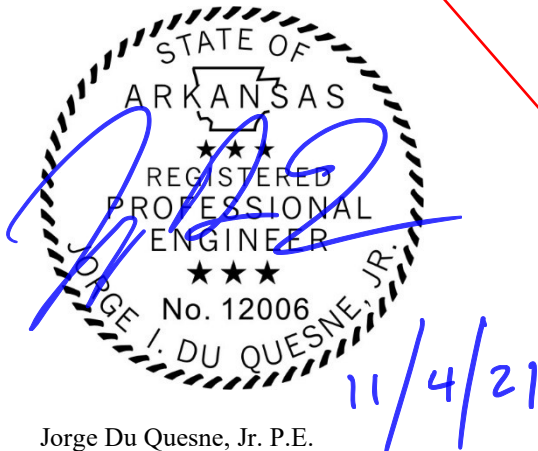
The following table compares the Post Peak Runoffs to the Pre Peak Runoffs. The intent is to show the overall change in flows:

State of Project Site (West)	Storm Event				
	2- year	10- year	25- year	50- year	100- year
Total Post	4.39 cfs	23.61 cfs	37.54 cfs	53.46 cfs	66.35 cfs
Total Pre	2.31 cfs	17.25 cfs	29.23 cfs	43.44 cfs	55.26 cfs
<i>Net</i>	<i>2.08 cfs</i>	<i>6.36 cfs</i>	<i>8.31 cfs</i>	<i>10.02 cfs</i>	<i>11.09 cfs</i>

CONCLUSION:

I, Jorge Du Quesne, Jr, Registered Professional Engineer No. 12006 in the State of Arkansas, hereby certify that the Storm Water Management System is designed based on Accepted Engineering Practices and limited by weather data provided by the city and/or precipitation maps. This development, if constructed per the construction documents and plans prepared by Blew & Associates, PA, is deemed not to increase existing risk to downstream life or property.

Respectfully,



Jorge Du Quesne, Jr. P.E.

Will a detention pond be provided to ensure that the post construction flows do not exceed the pre development runoff? Due to the presence of existing downstream drainage structures at Vaughan Road, a pond should be provided. Pond calculations can be provided at LSD stage.

Washington County
Technical Plat Review
November 16th, 2021

Reviewed By: Springdale Water Utilities
526 Oak Avenue – P.O. Box 769
Springdale, Arkansas 72765
(479) 751-5751

Reviewer: Jonathan Castillo

Project: Nazareth Retreat CUP

- 1) The owner/developer shall be responsible for the cost of any required adjustments to the existing water and sewer facilities due to site grading, paving, lot line adjustments or other matters.
- 2) Field locate and verify the location of existing water facilities located on proposed Lots. Indicate the location of these facilities on the drawing and provide adequate easements, on-site and off-site, acceptable to the Springdale Water Utilities. Easements shall be established such that a minimum 10-foot space shall be provided between the utility and any permanent structure and easements shall be provided such that a minimum of 10' is between the utility and easement line. Please provide book and page numbers for any existing water easements located on the proposed lot. Please show the existing 8-inch water main and its easement running along the north side of Vaugh Road crossing Parcel 001-14386-000 and Parcel 001-14922-003. Please show the existing 2-inch water main located on the south side of Parcel 001-14922-003.
- 3) Please be advised that the proposed building configurations shown on the plans seem to conflict with the existing 8-inch water main. Please be advised that no permanent structures shall be placed on top or within an existing utility easement.
- 4) Please be advised that private water meter service lines or sanitary sewer service lines cannot cross adjacent properties in order to access services or be located and running parallel within a public utility easement.
- 5) Please be advised that an approved septic application from the Arkansas Department of Health shall be submitted to Springdale Water Utilities.

Washington County
Technical Plat Review
November 16th, 2021

Reviewed By: Springdale Water Utilities
526 Oak Avenue – P.O. Box 769
Springdale, Arkansas 72765
(479) 751-5751

Reviewer: Jonathan Castillo

Project: Nazareth Retreat CUP

- 6) Water system capacity in this area is very limited whereby maximum meter sizing for new installations in this area has been limited to a single 5/8-inch meter set per tract for new construction. A study is currently underway by the utility to determine availability of water services. Before any additional connections to the water system are allowed, the developer/engineer will be required to submit a detailed water system analysis for this proposed development showing the adequacy of the existing water system to support this type of development.
- 7) Show on the drawing all proposed septic systems and leach fields. Please be advised that septic systems and leach fields shall not cross through adjacent properties. Please provide dimensions showing the spacing between proposed water service lines and proposed septic system and leach fields.
- 8) Please be advised that it appears that the permanent structures are located within a public utility easement. Please be advised that no structures shall be located inside of a utility easement. A minimum of 10-foot horizontal separation is required between existing/proposed water mains and any permanent structure.
- 9) Please be advised that the requested information on August 3rd, 2021 has not been completed. Please contact Springdale Water Utilities for further guidance.

Washington County
Technical Plat Review
November 16th, 2021

Reviewed By: Springdale Water Utilities
526 Oak Avenue – P.O. Box 769
Springdale, Arkansas 72765
(479) 751-5751

Reviewer: Jonathan Castillo

Project: Nazareth Retreat CUP

- 10) Please submit detailed plans to the Springdale Water Utilities for approval. On the plans, provide details showing the existing water and sewer facilities and their easements, all alternative septic fields, all proposed water meter and sewer connections, proposed site grading, proposed drainage structures and a utility spacing plan showing all proposed utilities.
- 11) Please show any proposed cuts or fill that will occur within the utility easement along the south end of Parcel #001-14922-003 and Parcel 001-14386-000. Please be advised that no cut or fill shall occur over the existing 8-inch and 2-inch water line without Springdale Water Utilities approval. Please submit any grading plans to Springdale Water Utilities engineering department for approval. If any existing utilities are damaged due to construction, then they shall be repaired at the owner/developer's expense.
- 12) Please be advised that the fire flows provided in the report for address 18316 Vaughan Road-Nazaret Retreat Center do not represent the actual flows that will be present or available at Parcel 001-14922-003 and Parcel 001-14386-000. Please perform a system analysis to determine actual flows.

Project Name: Nazareth Retreat Center CUP

Project Number: 2021-386

Comments submitted by: _____

Please enter comments below

APPLICANT COMMENTS TO TECHNICAL REVIEW

1. Our timeline for the entire facility is as follows: Phase 1 is expected to commence once we receive approval from Washington County.

Phase 2 is expected to commence in 2023 after phase 1 is completed. Phase 3 has a firm 2024 commencement time.

2. We do not have a brochure or flyer like that ready yet, but we do have a mission statement or description available. It is the following:

Nazareth Retreat Center, is a place for the community, where all are welcome. We can provide air conditioned and suitable spaces for events, activities and programs for businesses, religious and/or cultural movements and organizations.

This place was created thinking about the most important needs of our current society, family.

Our main objective is to stimulate and promote family unity. To maintain the balance in the relationship while extolling the importance of the family in society. And to offer the couple (father and mother) the right tools to discover and experience the joy of love in the family.

Our installations, which include the following:

- Main building consisting of +12,000sqft for any indoor activity
- Open pavilion for the summer and adaptable for a closed pavilion with natural chimney for winter events
- Pool along with a pool house
- Parks for fun for everyone in the family
- 45+ acres of land made for walks in the open air through our picturesque trails

All of these amenities offer the perfect and necessary spaces for you, your family and/or organization to meet, learn and teach while having fun.

Ideal for activities, programs and events such as: camping trips, retreats, group meetings, family reunions, training workshops, conferences, special celebrations, anniversaries, weddings, birthdays, graduations etc.

Nazareth Retreat Center Conditional Use Permit

The Planning Board/Zoning Board of Adjustments denied the Nazareth Retreat Center Conditional Use Permit, with conditions, request on January 13, 2022 (2 members voted “in favor”, 3 members voted “against”, 2 members were absent).

The applicant is requesting conditional use permit approval to allow the operation and development of a retreat center.

The zoning is for Agricultural and Single Family Residential uses with a maximum density of one (1) residential unit per acre.

The project parcel is not in a planning area.

The subject parcels equal approximately 45.93 acres in size.

The project is located on the northern side Vaughan Rd WC382.

Due to the size of the proposal, the applicant will return for Large Scale Development review once the CUP has been approved and ratified.

The applicant intends to develop in stages. The first stage will include a retreat center with an outdoor pavilion, an office building, a splash park and pool. The second stage will include a boat storage complex. The third stage will include a zip line facility.

This project was first heard by the Planning Board/Zoning Board of Adjustments at the December 9, 2021. After presenting the staff report, three members of the public addressed the Board with their concerns. They stated concerns about security, light pollution, late night hours, alcoholic beverages, increase of traffic on a small County road, the propensity for “undesirable activity” that may be attributed to having an event/retreat center in a small community.

After public comments, the conditional use permit request was tabled by the Board members present to allow the applicant more time to address the Board’s and the public’s concerns.

At the January 13, 2022 meeting, the Planning Board/Zoning Board of Adjustments voted to deny the conditional use permit request.

Neil Helm made a motion to approve the Nazareth Retreat Center CUP subject to staff recommendations. There was no second. Motion failed.

Loren Shackelford made a motion to approve the Nazareth Retreat Center CUP subject to staff recommendations with an additional condition regarding limitation to the hours of operation to 10 pm for outside events and 11 pm for inside events. Neil Helm seconded. There was a roll call vote:

Final Vote:

Joel Kelsey: No

Philip Humbard: No

Neil Helm: Yes
Lisa Miller: No
Loren Shackelford: Yes

On January 20, 2022, the applicant filed an appeal of the denial with the Washington County Clerk's office.

This appeal is currently scheduled to be heard at the March 17, 2022 regular Quorum Court Meeting. Notifications for this appeal and meeting were sent to property owners within 300 feet of subject parcel.

The Planning Board/Zoning Board of Adjustments approved the Nazareth Retreat Center Conditional Use Permit, with conditions, request on January 13, 2022 (2 members voted "in favor", 3 members voted "against", 2 members were absent):

Utility Conditions

1. Any damage or relocation of existing facilities will be at the owner's or developer's expense.
2. All offsite easements that are needed for utility service to the property/properties must be obtained by the developer and easement documentation may be required by the utility company.
3. All onsite easements must be shown on the plat and recorded with the County.
4. It is the owner/developer's responsibility to contact each utility provider to determine what permits and/or easements will be required.

Fire/Safety Conditions

1. The project will need to be constructed/developed by the Arkansas Fire Prevention Code. Code research and adherence will be the responsibility of the owner or their designee (Architect/Engineer).

Sewer/Septic Conditions

1. The applicant submitted a preliminary site review of the seasonal water tables for the properties. The soil appears to be acceptable. Final permitting and design will have to be submitted and approved by the Arkansas Department of Health.

Environmental Conditions

1. No stormwater permit is required by Washington County at this time; however, applicant must comply with all rules and regulations of the Arkansas Department of Environmental Quality. www.adeg.state.ar.us

Drainage/Engineering Conditions

1. All concerns from the Washington County Engineer must be addressed before final approval of this project may be given.

2. The Washington County Engineer must review and approve construction plans (if applicable) before the applicant may start to break ground for development.

Road Conditions

1. A permit from the Washington County Road Department or the Arkansas Department of Transportation may be required prior to any work being completed in the right-of-way.

Addressing Conditions

1. A physical 911 address may be required. Please complete the Address Application, if needed.

Signage Conditions

1. Signs shall not be directly lit.
2. Signs cannot be within the right of way.

Lighting Conditions

1. All outdoor lighting must be indirectly lit.

Screening Conditions

1. Trash collection areas must be opaquely screened and gated.
2. This request is for compatibility and use only. The applicant may be requested to screen their facility with opaque fencing or with trees/shrubs during the large scale development review.

Planning Conditions

1. This CUP request is for a retreat center. Should there be any deviation from this, the applicant must request an amendment to their CUP.
2. The total area used for this CUP exceeds one (1) acre. The applicant process through the large scale development review process.
3. All questions and concerns from the Technical Review must addressed before final approval may be given.

Planning Board Conditions

1. Limit the hours of operation to 10 pm for outside events and 11 pm for inside events

Standard Conditions for All Projects

1. Pay neighbor notification mailing fees within 30 days of project approval. Any extension must be approved by the Planning Office (fees will be calculated once the info is available from the post office). This total will be calculated for this project once all invoices are received.
2. Pay any engineering fees. This total will be calculated for this project once all invoices are received.
3. Any further splitting or land development not considered with this approval must be reviewed by the Washington County Planning Board/Zoning Board of Adjustments.

4. All CUPs must be ratified by the Quorum Court.
5. Final inspection approval is required prior to issuance of CUP approval letter.
6. It is the applicant's responsibility to contact the Planning Office when inspections are needed.
7. Per Washington County ordinance Sec 11-75 (7): All plats for land developments approved by the Washington County Planning Board shall be contingent upon receipt by the Developer of any Federal, State, or local or approvals, if any, whether known or unknown to the Board or the Developer.
8. All conditions shall be adhered to and completed in the appropriate time period set out by ordinance.

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ORDINANCE NO. 2022-

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE DENYING A CONDITIONAL USE PERMIT RECOMMENDED FOR DENIAL BY THE PLANNING AND ZONING BOARD.

WHEREAS, the Planning and Zoning Board voted to deny a Conditional Use Permit for the **Nazareth Retreat Center CUP** project on **January 13, 2022**; and,

WHEREAS, an appeal of the decision of the Planning and Zoning Board has been made to the Quorum Court, as allowed by the Washington County Code; and,

WHEREAS, after reviewing the information provided by the Planning Department, the applicant, and members of the community, the Quorum Court desires to deny the Conditional Use Permit, pursuant to Washington County Code and the laws of the State of Arkansas.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. That the Conditional Use Permit for the **Nazareth Retreat Center CUP** project recommended for denial by the Planning and Zoning Board is hereby denied.

JOSEPH K. WOOD, County Judge

DATE

BECKY LEWALLEN, County Clerk

Introduced by:
Date of Passage:

Item 22-O-039

42 Members Voting For:
43 Members Voting Against:
44 Members Abstaining:
45 Members Absent:
46
47 Committee History:
48 Quorum Court History:
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ORDINANCE NO. 2022-

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT RECOMMENDED FOR DENIAL BY THE PLANNING AND ZONING BOARD.

WHEREAS, the Planning and Zoning Board voted to deny a Conditional Use Permit for the **Nazareth Retreat Center CUP** project on **January 13, 2022**; and,

WHEREAS, an appeal of the decision of the Planning and Zoning Board has been made to the Quorum Court, as allowed by the Washington County Code; and,

WHEREAS, after reviewing the information provided by the Planning Department, the applicant, and members of the community, the Quorum Court desires to approve the Conditional Use Permit, pursuant to Washington County Code and the laws of the State of Arkansas.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. That the Conditional Use Permit for the **Nazareth Retreat Center CUP** project recommended for denial by the Planning and Zoning Board is hereby approved.

JOSEPH K. WOOD, County Judge

DATE

41 BECKY LEWALLEN, County Clerk

42 Introduced by:

43 Date of Passage:

44 Members Voting For:

45 Members Voting Against:

46 Members Abstaining:

47 Members Absent:

48

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50 Committee History:

51 Quorum Court History:

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ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

**BE IT ENACTED BY THE QUORUM
COURT OF THE COUNTY OF
WASHINGTON, STATE OF ARKANSAS,
AN ORDINANCE TO BE ENTITLED:**

**AN ORDINANCE APPROPRIATING
\$61,784.63 FROM THE UNAPPROPRIATED
RESERVES OF THE GENERAL FUND TO
VARIOUS LINE ITEMS IN THE CIRCUIT
COURT IV BUDGET (10000404) FOR 2022.**

WHEREAS, UAMS was awarded a grant and has agreed to utilize that grant money to reimburse half of the salaries for two Drug Court Case Manager positions; and

WHEREAS, Circuit Court Division IV desires to create a new position that which will only exist for the five year length of the grant award; and

WHEREAS, the Circuit Court Division IV requests \$61,784.63 to facilitate the creation of that new position.

**NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM
COURT OF WASHINGTON COUNTY, ARKANSAS:**

ARTICLE 1. There is hereby appropriated the total amount of \$61,784.63 from the unappropriated reserves of the General Fund (1000) to the following line items in the Circuit Court IV Budget for 2022:

Salary Full-Time	10000404.1001	\$45,531.00
Social Security Matching	10000404.1006	3,483.12
Noncontributory Retirement	10000404.1008	6,975.35
Health Insurance Matching	10000404.1009	5,592.00
Workers Compensation	10000404.1010	71.16
Life Insurance Matching	10000404.1016	132.00

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JOSEPH K. WOOD, County Judge

DATE

BECKY LEWALLEN, County Clerk

Introduced by: JP Lisa Ecke
Date of Adoption:
Members Voting For:
Members Voting Against:
Members Abstaining:
Members Absent:

Committee History: Personnel Committee (2-7-2022); Passed to Finance & Budget
Finance & Budget (2-8-2022); Tabled until March
Finance & Budget Committee (3-8-2022) Passed to QC

Quorum Court History:

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ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE CHANGING THE GRADE OF THE GIS MAPPING SPECIALIST POSITION IN THE IT BUDGET; AND APPROPRIATING \$57,544.06 FROM VARIOUS FUNDS TO VARIOUS BUDGETS FOR 2022.

WHEREAS, the Washington County Information Technology Department requested the GIS Mapping Specialist Position in its 2022 Budget; and

WHEREAS, that position was originally created to reflect certain job responsibilities and duties; and

WHEREAS, as a result of additional job responsibilities and duties assigned to that position, the position was regraded to reflect those changes.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. The grade of the personnel position GIS Mapping Specialist, Grade 16 (Position 0115062) in the Information Technology Budget of the General Fund (10000115) and in the Road Department Budget in the Road Fund (20000200), is hereby changed to Grade 26 for 2022.

ARTICLE 2. There is hereby appropriated \$28,772.03 from the unappropriated reserves of the Road Fund (2000) to the following line items in the Road Department Budget for 2022:

Salary Full-Time	20000200.1001	\$23,397.60
Social Security Matching	20000200.1006	1,789.92
Noncontributory Retirement	20000200.1008	3,584.51

42 **ARTICLE 3.** There is hereby appropriated \$28,772.03 from
43 the unappropriated reserves of the General Fund (1000) to the following line items in the
44 Information Technology Budget for 2022:

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46	Salary Full-Time	10000115.1001	\$23,397.60
47	Social Security Matching	10000115.1006	1,789.92
48	Noncontributory Retirement	10000115.1008	3,584.51
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60 JOSEPH K. WOOD, County Judge

_____ DATE

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66 BECKY LEWALLEN, County Clerk

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71 Introduced by: **JP Lisa Ecke**

72 Date of Adoption:

73 Members Voting For:

74 Members Voting Against:

75 Members Abstaining:

76 Members Absent:

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79 Committee History: Personnel Committee (2-7-2022); Passed to Finance & Budget
80 Finance & Budget Committee (3-8-2022) Passed to QC

81 Quorum Court History:

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ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

**BE IT ENACTED BY THE QUORUM
COURT OF THE COUNTY OF
WASHINGTON, STATE OF ARKANSAS,
AN ORDINANCE TO BE ENTITLED:**

**AN ORDINANCE PROJECTING REVENUES
AND CARRYOVER TOTALING \$7,496,055.79
IN VARIOUS FUNDS; AND APPROPRIATING
EXPENDITURES OF \$7,496,055.79 TO
VARIOUS FUNDS AND BUDGET LINE ITEMS
FOR 2022.**

WHEREAS, the Washington County Grants Department is obligated to rollover grant fund balances into the 2022 budget.

**NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM
COURT OF WASHINGTON COUNTY, ARKANSAS:**

ARTICLE 1. There are hereby projected revenues and carryover totaling \$7,496,055.79 as detailed in 'Attachment A' and summarized by Fund as follows for 2022:

3501	HIDTA	549,548.52
3503	Rural Community Grant Fund	11,083.82
3510	JDC Grant Fund	30,421.46
3511	DEM Grant Fund	1,033,083.73
3513	Drug Court Grant Fund	748,951.93
3514	Law Enforcement Grant Fund	12,251.15
3515	Animal Shelter Grants	4,108.72
3519	Juvenile Court Grant Fund	32,965.98
3525	Emergency Rental Assist 1	24,243.55
3526	Emergency Rental Assist 2	5,047,977.79
3550	Crisis Stabilization Unit Grant	1,419.14

30 **ARTICLE 2.** There are hereby appropriated expenditures
31 \$7,496,055.79 to various funds and budget line items as detailed in 'Attachment B' and
32 summarized by Fund as follows for 2022:
33

3501	HIDTA	549,548.52
3503	Rural Community Grant Fund	11,083.82
3510	JDC Grant Fund	30,421.46
3511	DEM Grant Fund	1,033,083.73
3513	Drug Court Grant Fund	748,951.93
3514	Law Enforcement Grant Fund	12,251.15
3515	Animal Shelter Grants	4,108.72
3519	Juvenile Court Grant Fund	32,965.98
3525	Emergency Rental Assist 1	24,243.55
3526	Emergency Rental Assist 2	5,047,977.79
3550	Crisis Stabilization Unit Grant	1,419.14

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JOSEPH K. WOOD, County Judge

DATE

BECKY LEWALLEN, County Clerk

Introduced by: **JP Patrick Deakins**
Date of Adoption:
Members Voting For:
Members Voting Against:
Members Abstaining:
Members Absent:

Committee History: Finance & Budget Committee (3-8-2022) Passed to QC
Quorum Court History:

2022 BUDGET FOR GRANTS - REVENUE				ATTACHMENT "A"	
FUND		LINE ITEM		REVENUE	TOTALS
3501	HIDTA	7109	OTHER FEDERAL GRANTS	549,548.52	549,548.52
3503	RURAL COMMUNITY GRANTS FUND	6999	CARRYOVER	11,083.82	11,083.82
3510	JDC GRANT FUND	6999	CARRYOVER	30,421.46	30,421.46
3511	DEM GRANT FUND	6999	CARRYOVER	96,380.73	
		7109	OTHER FEDERAL GRANTS	896,707.00	
		8710	RENT/LEASE	39,996.00	1,033,083.73
3513	DRUG COURT GRANT FUND	7109	OTHER FEDERAL GRANTS	748,951.93	748,951.93
3514	LAW ENFORCEMENT GRANT FUND	6999	CARRYOVER	12,251.15	12,251.15
3515	ANIMAL SHELTER GRANTS	6999	CARRYOVER	4,108.72	4,108.72
3519	JUVENILE COURT GRANT	6999	CARRYOVER	32,965.98	32,965.98
3525	EMERGENCY RENTAL ASSISTANCE 1	6999	CARRYOVER	24,243.55	24,243.55
3526	EMERGENCY RENTAL ASSISTANCE 2	6999	CARRYOVER	1,645,162.79	
		7109	OTHER FEDERAL GRANTS	3,402,815.00	5,047,977.79
3550	CSU GRANT	7010	STATE GRANTS	1,419.14	1,419.14
			TOTAL REVENUE		7,496,055.79

2022 Budgets for Grants - Expenditures				Attachment "B"
FUND/DEPT	GRANT NAME	LINE ITEM	DESCRIPTION	AMOUNT
35010525	HIDTA 2021	3103	SPECIAL PROJECTS	287,806.52
35010526	HIDTA2022	3103	SPECIAL PROJECTS	261,742.00
FUND 3501 TOTAL				549,548.52
35030603	BRENTWOOD COMMUNITY GRANT	2001	GENERAL SUPPLIES	618.66
		2002	SMALL EQUIPMENT	9,087.50
		2020	BUILDING MATERIALS & SUPPLIES	700.00
		3009	OTHER PROFESSIONAL SERVICES	320.00
		3062	UTILITIES - WATER	357.66
FUND 3503 TOTAL				11,083.82
35100538	JDC-GIA 2021/2022	2001	GENERAL SUPPLIES	7,000.00
		2002	SMALL EQUIPMENT	4,841.46
		2003	JANITORIAL SUPPLIES	4,000.00
		2005	FOOD	3,000.00
		3009	OTHER PROFESSIONAL SERVICES	2,000.00
		3090	DUES & MEMBERSHIPS	2,000.00
		3101	TRAINING & EDUCATION	4,820.00
		3102	SOFTWARE SUPPORT MAINT AGRMT	2,760.00
FUND 3510 TOTAL				30,421.46
35110547	MRC 2013	2002	SMALL EQUIPMENT	342.41
35110570	DEM RADIO SYSTEM	2001	GENERAL SUPPLIES	7,866.00
		2002	SMALL EQUIPMENT	3,144.88
		2007	FUEL, OIL, & LUBRICANTS	3,515.46
		2023	PARTS & REPAIRS	40,116.15
		2024	MAINTENANCE & SERVICE CONTRACTS	37,243.93
		3009	OTHER PROFESSIONAL SERVICES	40,851.35
		3060	UTILITIES - ELECTRIC	143.29
		3108	PROPERTY TAX	3,153.26
35110579	2020 SWAT	2002	SMALL EQUIPMENT	203,269.00
		3101	TRAINING/EDUCATION	59,500.00
		4005	VEHICLES	25,000.00
35110580	2020 USAR	2002	SMALL EQUIPMENT	128,069.00
		2023	PARTS AND REPAIRS	10,000.00
		3101	TRAINING/EDUCATION	94,000.00
		4004	MACHINERY & EQUIPMENT (OTHER)	108,000.00
35110581	2020 WMD/CBRN	2002	SMALL EQUIPMENT	268,869.00
FUND 3511 TOTAL				1,033,083.73
35130495	SAMHSA 2021/2022	1002	SALARIES, PART TIME	24,245.60
		1006	SOCIAL SECURITY MATCHING	1,854.85
		1008	NONCONTRIBUTORY RETIREMENT	3,108.64
		1009	HEALTH INSURANCE MATCHING	5,592.13
		1016	LIFE INSURANCE	131.73
		2001	GENERAL SUPPLIES	13,909.68
		2004	MEDICINE & DRUGS	7,062.81
		3006	MEDICAL, DENTAL, HOSPITAL	138,878.00
		3009	OTHER PROFESSIONAL SVCS	61,801.07
		3031	COMMON CARRIER	1,468.94
		3094	MEALS & LODGING	3,610.48
35130524	VETERANS TREATMENT COURTS	2001	GENERAL SUPPLIES	2,008.00
		2002	SMALL EQUIPMENT	14,864.00
		3009	OTHER PROFESSIONAL SVCS	379,736.00
		3030	TRAVEL	38,408.00
		3070	RENT-LAND AND BUILDINGS	52,272.00
FUND 3513 TOTAL				748,951.93
35140577	SCAAP 2018	2001	GENERAL SUPPLIES	(2,545.33)
		2002	SMALL EQUIPMENT	44,360.00
		2009	COMPUTER/IT EQUIPMENT	0.06
		2023	PARTS AND REPAIRS	(38,870.00)
		3021	POSTAGE	0.09
35140578	SCAAP 2019	2001	GENERAL SUPPLIES	(7,326.00)
		2002	SMALL EQUIPMENT	74,432.94
		2011	DETAINEE SUPPLIES	(8,600.61)

2022 Budgets for Grants - Expenditures				Attachment "B"
FUND/DEPT	GRANT NAME	LINE ITEM	DESCRIPTION	AMOUNT
		3054	OTHER SUNDRY INSURANCE	(45,000.00)
		3101	TRAINING/EDUCATION	(4,200.00)
			FUND 3514 TOTAL	12,251.15
35160308	ANIMAL SHELTER PROJECT FUND	3009	OTHER PROFESSIONAL SVCS	4,108.72
			FUND 3516 TOTAL	4,108.72
35190541	JUVENILE OFFICER GRANT	2001	GENERAL SUPPLIES	311.79
		2005	FOOD	2,842.19
		2021	PAINTS AND METALS	(22.45)
		3009	OTHER PROFESSIONAL SVCS	17.57
35190542	JUVENILE COURT TITLE 2	2001	GENERAL SUPPLIES	5,416.88
		2002	SMALL EQUIPMENT	4,500.00
		2005	FOOD	2,000.00
		2006	CLOTHING/UNIFORMS	3,000.00
		3009	OTHER PROFESSIONAL SVCS	14,900.00
			FUND 3518 TOTAL	32,965.98
35250523	EMERGENCY RENTAL ASSISTANCE 1	2001	GENERAL SUPPLIES	(869.11)
		3009	OTHER PROFESSIONAL SVCS	37,033.90
		3014	PASS THROUGH PAYMENTS	1,774.15
		3021	POSTAGE	(1,114.14)
		3022	CELL PHONE	(131.25)
		3040	ADVERTISING AND PUBLICATIONS	(12,450.00)
			FUND 3525 TOTAL	24,243.55
35260528	EMERGENCY RENTAL ASSISTANCE 2	3014	PASS THROUGH PAYMENTS	5,047,977.79
			FUND 3526 TOTAL	5,047,977.79
35500340	CSU GRANT	3009	OTHER PROFESSIONAL SERVICES	1,419.14
			FUND 3550 TOTAL	1,419.14
			TOTAL APPROPRIATIONS	7,496,055.79

ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE APPROPRIATING \$88,546.30 FROM UNAPPROPRIATED RESERVES IN THE GENERAL (1000) AND JAIL (3017) FUNDS FOR THE PURCHASE OF TASERS.

WHEREAS, on October 21, 2021, the Washington County Quorum Court adopted Ord. 2021-91 authorizing the purchase of Tasers by the Sheriff's Office; and,

WHEREAS, the Quorum Court requested that the Sheriff's Office break the cost of replacing the X26 Tasers into five (5) yearly installments; and,

WHEREAS, due to unforeseen complications related to the national supply chain, the first yearly installment has been pushed beyond the close of the 2021 County Budget; and

WHEREAS, to ensure the lawful purchase of those Tasers, an ordinance is necessary to re-appropriate the unspent money to the 2022 Budget.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. There is hereby appropriated the amount of \$57,218.73 from unappropriated reserves in the General Fund (1000) to the Taser line item in the following Sheriff Budget (10000400.2019) for 2022.

ARTICLE 1. There is hereby appropriated the amount of \$31,327.57 from unappropriated reserves in the Jail Fund (3017) to the Taser line item in the Jail Budget (30170418.2019) for 2022.

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JOSEPH K. WOOD, County Judge

DATE

BECKY LEWALLEN, County Clerk

Introduced by: **JP Patrick Deakins**
Date of Adoption:
Members Voting For:
Members Voting Against:
Members Abstaining:
Members Absent:

Committee History: Finance & Budget Committee (3-8-2022) Passed to QC
Quorum Court History:

ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

**BE IT ENACTED BY THE QUORUM
COURT OF THE COUNTY OF
WASHINGTON, STATE OF ARKANSAS,
AN ORDINANCE TO BE ENTITLED:**

**AN ORDINANCE APPROPRIATING
\$109,386.00 FROM UNAPPROPRIATED
RESERVES IN THE GENERAL FUND (1000)
TO THE VEHICLES LINE ITEM IN THE
ENVIRONMENTAL AFFAIRS BUDGET
(10000702) FOR 2022.**

WHEREAS, in 2021, Environmental Affairs budgeted for and ultimately purchased a grapple truck, pursuant to A.C.A. 14-22-101, et seq.; and,

WHEREAS, that grapple truck will permit the removal of large, bulky items that have been illegally dumped along county roads; and,

WHEREAS, due to unforeseen complications related to the national supply chain, the vehicle’s delivery took longer than expected and was not purchased in time to utilize the money appropriated to the 2021 Environmental Affairs Budget; and

WHEREAS, to ensure the lawful purchase of that grapple truck, an ordinance is necessary to re-appropriate the unspent money to the 2022 Budget.

**NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM
COURT OF WASHINGTON COUNTY, ARKANSAS:**

ARTICLE 1. There is hereby appropriated the amount of \$109,386.00 from unappropriated reserves in the General Fund (1000) to the Vehicle line item in the Environmental Affairs Budget (10000702.4005) for 2022.

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JOSEPH K. WOOD, County Judge

DATE

BECKY LEWALLEN, County Clerk

Introduced by: **JP Patrick Deakins**
Date of Adoption:
Members Voting For:
Members Voting Against:
Members Abstaining:
Members Absent:

Committee History: Finance & Budget Committee (3-8-2022) Passed to QC
Quorum Court History:

ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE APPROPRIATING \$33,020 FROM THE ANIMAL SHELTER SPECIAL PROJECTS FUND TO VARIOUS LINE ITEMS IN THE ANIMAL SHELTER SPECIAL PROJECTS BUDGET FOR 2022.

WHEREAS, the Washington County Animal Shelter has a dedicated special projects fund that collects donations for the purpose of completing special projects at the Animal Shelter; and,

WHEREAS, the Animal Shelter desires to utilize some of those donated funds to complete necessary special projects for 2022.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. There is hereby appropriated the amount of \$33,020.00 from unappropriated reserves in the Animal Shelter Special Projects Fund (1825) to the following line items in the Animal Shelter Special Projects Budget for 2022:

Other Professional Services	18250529.3009	\$10,500.00
Small Equipment	18250529.2002	22,520

JOSEPH K. WOOD, County Judge

DATE

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44 BECKY LEWALLEN, County Clerk

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46 Introduced by: **JP Patrick Deakins**

47 Date of Adoption:

48 Members Voting For:

49 Members Voting Against:

50 Members Abstaining:

51 Members Absent:

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54 Committee History: Finance & Budget Committee (3-8-2022) Passed to QC

55 Quorum Court History:

ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE RECOGNIZING ADDITIONAL REVENUE OF \$134,118.65; AND, APPROPRIATING \$134,118.65 FROM UNAPPROPRIATED RESERVES OF THE GENERAL FUND TO VARIOUS LINE ITEMS IN THE SHERIFF’S BUDGET (0400) AND JAIL BUDGET (0418) FOR 2022.

WHEREAS, the Washington County Sheriff’s Office routinely provides law enforcement services for special events throughout the County for which it receives payment; and,

WHEREAS, Washington County has received additional revenue in the amount of \$134,118.65 for special event services provided by the Washington County Sheriff’s Office.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. There is hereby appropriated the total amount of \$134,118.65 from the General Fund (1000) to the following line items in the following budgets for 2022:

<u>Sheriff’s Budget</u>		
Overtime	10000400.1005	\$ 62,548.59
Social Security	10000400.1006	4,784.85
Noncontributory Retirement	10000400.1008	9,581.09
Workers Compensation	10000400.1010	2,101.42
<u>Jail Budget</u>		
Overtime	30170418.1005	43,618.12
Social Security	30170418.1006	3,336.74

42 Noncontributory Retirement 30170418.1008 6,682.35
43 Workers Compensation 30170418.1010 1,465.49
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49 JOSEPH K. WOOD, County Judge DATE
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55 BECKY LEWALLEN, County Clerk
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58 Introduced by: **JP Patrick Deakins**
59 Date of Adoption:
60 Members Voting For:
61 Members Voting Against:
62 Members Abstaining:
63 Members Absent:
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66 Committee History: Finance & Budget Committee (3-8-2022) Passed to QC
67 Quorum Court History:
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ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE RECOGNIZING REVENUE IN THE AMOUNT OF \$19,550.00 IN THE ANIMAL SHELTER GRANT FUND; AND, APPROPRIATING \$19,550.00 FROM THE ANIMAL SHELTER GRANT FUND (3515) TO THE ANIMAL SHELTER GRANT FUND BUDGET (35150308) FOR 2022.

WHEREAS, the Animal Shelter desires to utilize two local grants awarded from the Best Friends Animal Society; and,

WHEREAS, those grants were an \$800.00 award for medicine/medical supplies and \$18,750.00 for a Pet Retention and Identification Program.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. There is hereby recognized revenue in the total amount of \$19,550.00 in the Animal Shelter Grant Fund (35150308.8781).

ARTICLE 2. There is hereby appropriated the total amount of \$19,550.00 from the Animal Shelter Grant Fund (35150308.8781) to the following line items in the Animal Shelter Grant Fund Budget for 2022:

General Supplies	35150308.2001	\$8,800.00
Small Equipment	35150308.2002	4,700.00
Medicine & Drugs	35150308.2004	800.00
Fuel, Oil, & Lubricants	35150308.2007	250.00
Advertising/Publications	35150308.3040	5,000.00

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JOSEPH K. WOOD, County Judge

DATE

BECKY LEWALLEN, County Clerk

Introduced by: **JP Patrick Deakins**
Date of Adoption:
Members Voting For:
Members Voting Against:
Members Abstaining:
Members Absent:

Committee History: Finance & Budget Committee (3-8-2022) Passed to QC
Quorum Court History:

ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE APPROPRIATING \$335,785.55 FROM THE AMERICAN RESCUE PLAN ACT FUND (3046) TO THE ENGINEERING/ARCHITECTURE LINE ITEM IN THE AMERICAN RESCUE PLAN ACT BUDGET (30460568.3004) FOR 2022.

WHEREAS, on August 19, 2021, the Washington County Quorum Court adopted Ord. 2021-74 and Ord. 2021-75; and,

WHEREAS, those ordinances appropriated money from the American Rescue Plan Act Fund to the Engineering/Architecture line item in the American Rescue Plan Act Budget to address Covid-19 in the Juvenile Justice Building and the Washington County Jail, respectively; and,

WHEREAS, those appropriated funds went largely unspent in 2021, and it is necessary that the Quorum Court re-appropriate those funds for 2022 to accomplish the lawful purpose of those Ordinances.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. There is hereby appropriated the total amount of \$335,785.55 from the American Rescue Plan Act Fund (3046) to the Engineering/Architecture line item in the American Rescue Plan Act Budget (30460568.3004) for 2022 for the following projects:

<u>Project</u>	<u>Remaining Balance</u>
Juvenile Justice Building	\$250,000.00
Washington County Jail	85,785.55

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JOSEPH K. WOOD, County Judge

DATE

BECKY LEWALLEN, County Clerk

Introduced by: **JP Patrick Deakins**

Date of Adoption:

Members Voting For:

Members Voting Against:

Members Abstaining:

Members Absent:

Committee History: Finance & Budget Committee (3-8-2022) Passed to QC

Quorum Court History:

ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE APPROPRIATING \$15,883.80 FROM THE UNAPPROPRIATED RESERVES OF THE GENERAL FUND (1000) TO VARIOUS LINE ITEMS IN THE VETERAN SERVICES BUDGET (10000800) FOR 2022.

WHEREAS, part-time money for the Veteran Services Department was inadvertently excluded from the final approved Budget for 2022; and,

WHEREAS, the Quorum Court desires to appropriate money to support a necessary part-time position.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. There is hereby appropriated the total amount of \$15,883.80 from the unappropriated reserves in the General Fund (1000) to the following line items in the Veteran Services Budget for 2022:

Salaries, Part-Time	10000800.1002	\$12,916.80
Social Security Matching	10000800.1006	988.14
Noncontributory Retirement	10000800.1008	1,978.86

JOSEPH K. WOOD, County Judge

DATE

41 BECKY LEWALLEN, County Clerk

42

43 Introduced by: **JP Patrick Deakins**

44 Date of Adoption:

45 Members Voting For:

46 Members Voting Against:

47 Members Abstaining:

48 Members Absent:

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51 Committee History: Finance & Budget Committee (3-8-2022) Passed to QC

52 Quorum Court History:

ORDINANCE NO. 2022-

APPROPRIATION ORDINANCE

BE IT ENACTED BY THE QUORUM COURT OF THE COUNTY OF WASHINGTON, STATE OF ARKANSAS, AN ORDINANCE TO BE ENTITLED:

AN ORDINANCE RECOGNIZING REVENUE IN THE AMOUNT OF \$404,265; AND, APPROPRIATING SAID \$404,265 TO VARIOUS FUNDS IN VARIOUS BUDGETS FOR 2022.

WHEREAS, the Washington County Road Department and Environmental Affairs Department have auctioned off unnecessary items and the County is in receipt of proceeds from the sale of those items in the amount of \$404,265; and,

WHEREAS, the Quorum Court desires to appropriate said money back into the appropriate budgets for 2022.

NOW, THEREFORE, BE IT ORDAINED BY THE QUORUM COURT OF WASHINGTON COUNTY, ARKANSAS:

ARTICLE 1. There is hereby recognized revenue in the amount of \$6,000.00 in the unappropriated reserves of the General Fund (1000); and hereby appropriated \$6,000.00 from the unappropriated reserves of the General Fund (1000) to the Other Professional Services line item in the Environment Affairs Budget (10000702.3009) for 2022.

ARTICLE 2. There is hereby recognized revenue in the amount of \$398,265.00 in the unappropriated reserves of the Road Fund (2000); and hereby appropriated \$398,265.00 from the unappropriated reserves of the Road Fund (2000) to the Machinery and Equipment line item in the County Road Budget (20000200.4004) for 2022.

JOSEPH K. WOOD, County Judge

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BECKY LEWALLEN, County Clerk

Introduced by: **JP Patrick Deakins**

Date of Adoption:

Members Voting For:

Members Voting Against:

Members Abstaining: None

Members Absent: None

Committee History: Finance & Budget Committee (3-8-2022) Passed to QC

Quorum Court History:



WASHINGTON COUNTY, ARKANSAS

County Courthouse

FINANCE & BUDGET COMMITTEE REPORT – MARCH

JP Patrick Deakins - Chairman

The Finance & Budget Committee met Tuesday, March 8, 2022. There were reports given on the Treasurer, Employees' Insurance and Comptroller. The Committee revisited Unfinished Business on three ordinances, two were passed on to Quorum Court and one ORDINANCE APPROPRIATING \$256,000 FROM THE AMERICAN RESCUE PLAN ACT FUND (3046) TO THE PASS THROUGH PAYMENTS LINE ITEM IN THE 2021 AMERICAN RESCUE PLAN ACT BUDGET (30460568.3014) FOR THE HOMESTEAD SUBDIVISION Item 21-O-098 was tabled indefinitely. There were nine ordinances on new business that were passed on to Quorum Court.



WASHINGTON COUNTY, ARKANSAS

County Courthouse

JAILS/LAW ENFORCEMENT/COURTS COMMITTEE REPORT –MARCH

JP Lance Johnson - Chair

The Jails/Law Enforcement/Courts Committee met on Monday, March 7, 2022. There were Statistic Reports given by the Juvenile Detention Center Director, along with reports from the Sheriff's Enforcement, and Detention. Chief Deputy Jay Cantrell gave information on an incident from the previous week that required the Sheriff's office to be in the Morrow area for an extended amount of time. He spoke of the generosity of the Morrow Store owners, Clark and Jackie Reed, and how much they were appreciated. The Committee was given updates from Drew Smith, Matt Durrett and Nick Robbins from the Criminal Justice Coordinating Committee.